

ATTACHMENT “D”
CAMDEN COUNCIL ORDINARY MEETING
CONSIDERATION OF SUBJECT PLANNING
PROPOSAL REQUEST (ORD 02) – 14 APRIL 2020 AND
MINUTES CONFIRMING NON-ENDORSEMENT



Camden Council

Business Paper

Ordinary Council Meeting
14 April 2020

Camden Council
Administration Centre
70 Central Avenue
Oran Park





ORDINARY COUNCIL

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ORDINARY COUNCIL

ORD02

SUBJECT: PLANNING PROPOSAL - 33 MORSHEAD ROAD, MOUNT ANNAN
FROM: Director Planning and Environment
TRIM #: 20/55823

PROPERTY ADDRESS	Lot 71 DP 702819 33 Morshead Road, Mount Annan
PROPONENT	BJC Design
OWNER	Mt Annan Investments Pty Ltd

PURPOSE OF REPORT

This purpose of this report is to advise Council of a draft Planning Proposal at 33 Morshead Road, Mount Annan, and to recommend the draft Planning Proposal be forwarded to the Department of Planning, Industry and Environment (DPIE) for Gateway Determination.

The draft Planning Proposal is provided as an **attachment** to this report.

BACKGROUND

In February 2019, a draft Planning Proposal was lodged by BJC Design on behalf of the landowner. The draft Planning Proposal seeks to amend Camden Local Environmental Plan 2010 (Camden LEP 2010) by rezoning the land from R2 Low Density Residential to R3 Medium Density Residential and amend the minimum lot size from 450m² to 250m².

Following an assessment of the draft Planning Proposal and in response to the initial notification undertaken, the proponent submitted a revised draft Planning Proposal in December 2019 which amended the indicative development scheme.

On 18 February 2020, the Camden Local Planning Panel (Panel) reviewed the draft proposal and provided recommendations, which are discussed later in this report and are provided as an **attachment** to this report.

Councillors were briefed on the draft Planning Proposal on 11 February 2020.

Site Context

The subject site has two street frontages, with a principal street frontage from Morshead Road to the west and a secondary frontage to Buna Close (cul-de-sac) to the north. The site is approximately 3,263m² in area and contains a 1960s dwelling house. Existing vegetation on the site includes exotic garden beds and fruit trees, along with native grasses and a Spotted Gum tree.

The surrounding area is predominantly residential in nature. The Mount Annan Marketplace is located approximately 400m east of the site.



Figure 1: Site context and locality

Planning Policy

The former Camden Development Control Plan 2006 (Camden DCP 2006) identified the site as Residential Area 1, comprising of predominantly detached housing. The surrounding properties were identified as Residential Area 2, which allowed multi-unit housing.

With the introduction of the Standard Instrument LEP, the controls in the Camden DCP 2006 were transitioned into the Camden LEP 2010 on a 'like-for-like' basis. As such, the site was zoned R2 Low Density Residential, whilst the surrounding land was zoned R3 Medium Density Residential.

MAIN REPORT

The draft Planning Proposal seeks to:

- Rezone the site from R2 Low Density Residential to R3 Medium Density Residential; and
- Amend the minimum lot size from 450m² to 250m².

If supported, the draft Planning Proposal will allow additional residential density on the site with smaller lot sizes. If supported, it is anticipated that the draft proposal would facilitate 9 - 10 dwellings (approximately) on the site depending on the size and design.

Zoning and Permissibility

Under Camden LEP 2010, the site is currently zoned R2 Low Density Residential and has a minimum lot size of 450m².

The draft Planning Proposal seeks to amend the Land Zoning (LZN) and Lot Size (LSZ) Maps. **Table 1** and **Figures 2-5** provide a comparison of the current and proposed provisions of Camden LEP 2010.



Camden LEP 2010	Current	Proposed
Zone	R2 Low Density Residential	R3 Medium Density Residential
Minimum Lot Size	450m ²	250m ²

Table 1: Comparison of current and proposed provisions under the Camden LEP 2010



Figure 2: Current zoning



Figure 3: Proposed zoning



Figure 4: Current minimum lot size



Figure 5: Proposed minimum lot size

Specialist Studies

The following specialist studies have been submitted with the draft Planning Proposal and are provided as an **attachment** to this report:

- Traffic Impact Report, prepared by Hemanote Consultants Pty Ltd, dated December 2019;
- Ecological Constraints Assessment, prepared by Naria Environmental Pty Ltd, dated June 2019; and
- Urban Design Report, prepared by ae design studio, dated 19 August 2019.



Additional supporting technical studies may be required post-Gateway, should the draft Planning Proposal be supported.

Key Considerations

Ecological Constraints Assessment

The Ecological Assessment (Assessment) found that existing vegetation on the site includes exotic garden beds and fruit trees, along with some native grasses and herbs and one locally indigenous native canopy species *Corymbia maculata* (Spotted Gum).

The Assessment concludes that the existing native vegetation presents a minor constraint to the future development of the site and its removal would not cause a significant impact on threatened fauna or Endangered Ecological Community (EECs) within the locality.

Officer Comment

Council officers have reviewed the Assessment and support the finding that the removal of a single Spotted Gum Tree and a small patch of native grassland would not cause a significant impact on threatened fauna or EECs within the locality.

The removal of native vegetation on the site and replacement planting is a matter for assessment at any future Development Application (DA) stage.

Neighbourhood Character and Density

As illustrated in Figures 2-5 above, the adjoining land is zoned R3 Medium Density Residential and has a minimum lot size of 250m². The draft Planning Proposal is therefore consistent with the zoning and lot sizes applying to the adjoining land.

The surrounding area contains a mix of low and medium density development types. To the north, there are single and attached dwellings on lots ranging from 250m² to 350m² whilst the residential lots directly to the south are larger (ie. approximately 426m²).

Officer Comment

The draft Planning Proposal is consistent with planning controls applying to the adjoining land. Furthermore, the surrounding area includes a range of residential dwelling types and density which is compatible with the draft Planning Proposal.

The proposed R3 Medium Density Residential zone and 250m² minimum lot size is compatible with the existing character of the area.

Indicative Development Scheme

The proponent submitted a number of indicative development schemes in response to feedback provided during the assessment of the draft Planning Proposal.

It is noted that the final subdivision layout will be subject to a future Development Application (DA), should the draft Planning Proposal be supported.



The indicative development scheme below (**Figure 6**) demonstrates how the site might be developed in a future DA to address the configuration of lots, dwelling typologies and proposed site access.



Figure 6: Indicative Development Scheme

Officer Comment

The above indicative development scheme provides:

- A mix of dwelling lots and types, including 4 lots containing detached dwellings and 1 multi-dwelling lot with 5 dwellings containing a mix of attached and detached dwellings
- A mix of lot sizes, with 4 lots with detached dwellings at 300m² (approximately) and 1 multi-dwelling lot at 1,500m² (approximately); and
- Vehicle access to the lots from Morshead Road, and potential vehicle access to the multi-dwelling lot from Buna Close.

As noted above, the final subdivision layout will be subject to a future DA should the draft Planning Proposal be supported. Any future DA will need to satisfy the requirements of the Camden Development Control Plan 2019 (Camden DCP 2019).



It is also noted that future dwellings on the site could be approved as complying development under the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 (Codes SEPP). Development approved under this pathway must address the specific controls in the Codes SEPP.

Housing Supply and Diversity

Under the proposed R3 Medium Density Residential zone, a range of residential land uses are permissible including home occupations, attached dwellings and multi-dwelling housing. The draft Planning Proposal will provide additional and more diverse housing to an established residential suburb.

Officer Comment

The proposal will facilitate a mix of dwelling types that provide housing choice to meet the needs of the community.

Traffic and Transport

The Traffic Impact Assessment (TIA) submitted in support of the draft Planning Proposal concludes that the proposal will not have an adverse impact on the surrounding road network, and the site has access to public transport in the form of bus services along Narellan Road and Holdsworth Drive.

Officer Comment

Council officers have reviewed the TIA and support the findings that the draft Planning Proposal will not generate unacceptable traffic impacts on the existing road network. The projected traffic volumes align with the recommended Road and Maritime Services (RMS) environmental threshold for local and collector roads at post development condition.

Assessment against Key Strategic Documents

An assessment against the key strategic documents are provided as an **attachment** to this report and are summarised below.

The Greater Sydney Region Plan (the Region Plan) was released by the Greater Sydney Commission (GSC) on 18 March 2018. The Region Plan has a vision and plan to manage growth and change for Greater Sydney in the context of economic, social and environmental matters.

The draft Planning Proposal is consistent with the relevant directions and objectives of the Region Plan including:

- Direction 1: Infrastructure and Collaboration – A City Supported by Infrastructure;
- Direction 3: Liveability – A City for the People;
- Direction 4: Liveability – Housing the City; and
- Direction 8: Sustainability – A City in its Landscape.



Western Sydney District Plan

On 18 March 2018, the Western Sydney District Plan (the District Plan) was released by the GSC. The District Plan guides the 20-year growth of the district to improve its social, economic and environmental assets.

The draft Planning Proposal is consistent with the relevant priorities and actions of the District Plan:

- Planning Priority W1: Planning for a city supported by infrastructure; and
- Planning Priority W5: Providing housing supply, choice and affordability, with access to job and services.

Draft Camden Local Strategic Planning Statement

The draft Local Strategic Planning Statement (draft LSPS) is a 20-year planning vision, and includes land use, transport and sustainability objectives to demonstrate how the Camden LGA will change to meet the community's needs over the next 20 years.

The draft Planning Proposal is consistent with the relevant Local Priorities and Actions of the draft LSPS and is consistent with the following Local Priorities:

- Infrastructure Priority I1: Aligning infrastructure delivery with growth; and
- Liveability Priority L1: Providing housing choice and affordability for Camden's growing and changing population.

Community Strategic Plan

The Community Strategic Plan (CSP) seeks to actively manage Camden LGA's growth by retaining Camden's heritage sites, scenic vistas and cultural landscapes. The draft Planning Proposal has been assessed against the relevant Directions and Strategies of the CSP and is consistent with the following Strategies:

- Strategy 1.1: Ensure provision of appropriate urban development for sustainable growth in the Camden LGA;
- Strategic 1.1.2: Manage and plan for a balance between population growth, urban development and environmental protection; and
- Strategy 4.1.1: Ensure provision of adequate transportation network facilities available across the Camden LGA.

Camden Local Planning Panel

On 18 February 2020, the Local Planning Panel inspected the site and considered the draft Planning Proposal in a closed session.

The Panel's recommendation, finalised on 20 February 2020, was that the draft Planning Proposal should proceed to Gateway Determination for the following reasons:

- The proposal demonstrates strategic and site-specific planning merit.
- The area surrounding the site within the Mount Annan suburb demonstrates a transition of residential density which is compatible with R3 Medium Density Residential development. The proposed R3 Medium Density Residential zone with a minimum lot size of 250m² is consistent with the existing neighbouring character of the area.



- The proposal will contribute towards Camden's housing supply in an appropriate location that could facilitate housing diversity.
- Future development as a result of this proposal will not require significant augmentation of existing infrastructure and will not generate adverse traffic impacts or wider environmental, social and economic impacts.

A copy of the meeting minutes is provided as an **attachment** to this report.

Initial Notification

The draft Planning Proposal was placed on initial notification for a period of 14 days from 26 March to 9 April 2019. Letters were sent to adjoining properties, notices were placed in the local newspaper and on Council's website. Two submissions were received raising objections to the draft Planning Proposal.

A formal public exhibition will occur subject to endorsement of the draft Planning Proposal and receipt of a favourable Gateway Determination.

A table outlining the issues raised in the submissions and Council officer comment is provided as an **attachment**. A copy of submissions is provided as a **supporting document** to this report.

A summary of key issues and Council officer comment is provided below.

1. The lots surrounding the property are all larger than the proposed lot size and will not be compatible with the low-density character of the area.

Officer Comment

The surrounding area contains a range of lot sizes and dwelling types. To the north and east of the site, lot sizes range from 250m² to 350m². The site also adjoins larger properties directly to the south on Holdsworth Drive, which have a lot size of approximately 450m², despite the permissible minimum lot size being 250m².

As such, the draft Planning Proposal is compatible with the existing character of the area. Furthermore, the area is well serviced and accessible, making the site suitable for medium density development.

2. The existing planning controls are set to prevent a smaller lot size which would generate a higher density.

Officer Comment

The current planning controls reflect a former vision of this site. The proposed minimum lot size of 250m² will enable development in this area to achieve the objectives of the proposed R3 Medium Density Residential zone.

3. Concerns that the development is not located close to a major transport hub and will create additional congestion on local roads.



Officer Comment

The traffic assessment submitted in support of the draft Planning Proposal concludes that the proposal will not have an adverse impact on the surrounding road network. Furthermore, the site has access to public transport in the form of bus services along Narellan Road and Holdsworth Drive.

The draft Planning Proposal will facilitate additional dwellings in proximity to services, including the Mount Annan shopping centre. This local centre is serviced by regular bus services to Campbelltown and Macarthur railway stations.

4. Concerns that future development will be two storey developments and will create overshadowing and privacy impacts.

Officer Comment

Whilst the proposal is seeking to increase residential density on the site, there is no change proposed to the maximum building height control of 9.5m. Two storey developments are currently permitted under the existing planning controls.

Whilst an indicative development scheme has been submitted, the final subdivision layout and dwelling density will be subject to a future DA should the draft Planning Proposal be supported.

Any future DA will need to satisfy the requirements of the Camden DCP 2019 and address the likely impacts of the development on the amenity of the area. As noted above, developments including dwellings can be approved as complying development under the Codes SEPP.

Assessment of Planning Merit

The draft Planning Proposal has been assessed against key strategic documents, including the Greater Sydney Region Plan, the Western City District Plan, Community Strategic Plan and draft Camden Local Strategic Planning Statement.

It is considered that the Planning Proposal demonstrates planning merit to proceed to Gateway Determination for the following reasons:

- The proposed R3 Medium Density Residential zone with a minimum lot size of 250m² is consistent with the existing neighbouring character of the area.
- The proposal will facilitate a mix of dwelling types that provide housing choice to meet the needs of the community.
- The proposal will contribute towards Camden's housing supply in an appropriate location.
- Future development as a result of this proposal will not require significant augmentation of existing infrastructure and will not generate adverse environmental, social and economic impacts.



Next steps

Subject to Council endorsement, the draft Planning Proposal will be submitted to DPIE for a Gateway Determination. If a favourable Gateway Determination is received, relevant agencies will be consulted, and the draft Planning Proposal will be placed on public exhibition. Submitters to the initial notification stage will be advised of any future public exhibition.

A further report will be submitted to Council upon completion of the public exhibition if unresolved submissions are received.

FINANCIAL IMPLICATIONS

There are no financial implications for Council as a result of this report.

CONCLUSION

The draft Planning Proposal seeks to amend the Camden LEP 2010 to facilitate additional residential density at 33 Morshead Road, Mount Annan by rezoning the site to R3 Medium Density Residential and amending the minimum lot size to 250m².

Council officers have assessed the draft Planning Proposal and consider the proposal demonstrates planning merit to proceed to Gateway Determination as outlined in this report.

RECOMMENDED

That Council:

- i. endorse the draft Planning Proposal for land at 33 Morshead Road, Mount Annan to be forwarded to the Department of Planning, Industry and Environment for Gateway Determination and advise that Council will be using its delegation pursuant to Section 2.4 of the *Environmental Planning and Assessment Act 1979*; and
- ii. subject to receiving a Gateway Determination from the Department of Planning, Industry and Environment, proceed to public exhibition in accordance with the requirements of the Gateway Determination; and
- iii. subject to no unresolved submissions being received, forward the draft Planning Proposal for Lot 71 DP 702819, 33 Morshead Road, Mount Annan to the Department of Planning, Industry and Environment for the plan to be made; or
- iv. if unresolved submissions are received, consider a further report outlining the results of the public exhibition; or
- v. should the draft Planning Proposal not receive a Gateway Determination, notify the proponent that the draft Planning Proposal will not proceed.

ATTACHMENTS

1. Planning Proposal Report - 33 Morshead Road, Mount Annan
2. Consolidated Planning Proposal Annexures - 33 Morshead Road, Mount Annan



-
3. Assessment Against Key Strategic Documents - 33 Morshead Road, Mount Annan
 4. Camden Local Planning Panel Closed Meeting Minutes - 18 February 2020
 5. Submissions Response Table - 33 Morshead Road, Mount Annan
 6. Submissions - 33 Morshead Road, Mount Annan - *Supporting Document*

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Attachment 1



PLANNING PROPOSAL REQUEST
No. 33 Morshead Road, Mount Annan
(Camden Council)



Prepared For:
City Wide LPI
Prepared By:



Volume 1: Report

October 2018
(Amended December 2019)

ORD02

This Report has been prepared exclusively for submission to Camden Council as an initial report in the land rezoning process. It is not to be relied upon by any other person/party.

The information contained in this Report has been compiled largely from both principal and secondary information sources and does not purport to be exhaustive. It is, however, considered to be sufficiently rigorous to engender initial Council and community support to advancing a relevant Planning Proposal amendment to the prevailing LEP.

PPS gives no warranty that these information sources are current and accepts no responsibility for any errors or damage or loss, however caused, suffered by any individual or corporation.

Attachment 1

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Attachment 1

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Annexures

- A: Subject Land Holding (Deposited Plan)
- B: Indicative Development Scheme
- C: Suite of draft Mapping Amendments to Camden Local Environmental Plan, 2010
- D: Overview of State Environmental Planning Policies
- E: Overview of Section 9.1 Directions (EP&A Act)
- F: Stage 1 – Preliminary Environmental Investigation
- G: Ecological Constraints Assessment
- H: Traffic Impact Assessment
- I: Urban Design Report and Development (Indicative Scheme No. 2) Overview
- J: Overview of Past Neighbourhood Consultation
- K: Miscellaneous Supporting Documents

Attachment 1

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Attachment 1

Introduction

1.1 BACKGROUND

This Planning Proposal (Request) (PPR) represents the formative phase in the development of a Planning Proposal (PP) geared toward the rezoning of the land situated at No. 33 Morshead Road, Mount Annan (and shown in Figure 1 and Annexure "A") for medium density residential purposes. The rezoning is to be effected through the preparation of a relevant Planning Proposal amendment to the prevailing Local Environment Plan: namely, Camden Local Environmental Plan, 2010 (CLEP 2010).

1.2 SCOPE OF REPORT

This PPR has been prepared in accordance with the former NSW Department of Planning and Environment's (DoP&E) documents A Guide to Preparing Local Environmental Plans and A Guide to Preparing Planning Proposals (December, 2018). The latter document requires the Planning Proposal to be provided in six (6) parts, being:

- ☐ Part 1 - A statement of the objectives or intended outcomes of the Planning Proposal (and proposed LEP amendment);
- ☐ Part 2 - An explanation of the provisions that are to be included in the Planning Proposal (and proposed LEP amendment);
- ☐ Part 3 - The justification for those objectives, outcomes and provisions and the process for their implementation;
- ☐ Part 4 - Relevant support mapping;
- ☐ Part 5 - Details of the community consultation that is to be undertaken in respect of the Planning Proposal; and
- ☐ Part 6 - Indicative project timeline.
- ☐ Part 7 - Conclusion

1.3 REPORT STRUCTURE

This PPR, in providing an outline PP, is structured in the following manner:

- ☐ Section 2 provides an overview of the site the subject of this PPR and the development intent;
- ☐ Section 3 contains a statement of the objective and/or intended outcomes of the proposed LEP amendment (Part 1);
- ☐ Section 4 provides an explanation of the provisions (Part 2);
- ☐ Section 5 provides justification for the objectives, outcomes and provisions of the proposed LEP amendment (Part 3);
- ☐ Section 6 provides details of relevant mapping amendments (Part 4);
- ☐ Section 7 provides details of the community consultation that would be undertaken in respect of the PP as it is advanced (Part 5);
- ☐ Section 8 provides a projected project timeline (Part 6);
- ☐ Section 9 outlines a conclusion (Part 7).

2 The Subject Land/Site

2.1 LAND DESCRIPTION

The site comprises land known as Lot 71 DP702819 (No. 33) Morshead Road, Mount Annan as Annexure "A" and depicted in Figure 1 below.

It comprises a single residue residential allotment with a somewhat dilapidated 1960's dwelling and related improvements and generally unkempt landscape setting.



Figure 1: Subject land holding

It is proximate to the Tobruk Road intersection to the west and Holdsworth Drive intersection to the south. The rear part of the northern boundary has frontage to Buna Close, a cul-de-sac off Owen Stanley Street.

The allotment is some 3,263sq.m in area. Further, it has front and rear boundaries of 40 and 56.44 metres respectively and northern and southern boundaries of 755.05 and 800 metres respectively. Its principal access (frontage) is to Morshead Road.

The land is in the Camden Local Government Area (LGA).
Images of the site are contained in figures 2 to 5 following:

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Attachment 1



Figure 2 – Site viewed from Morshead Road



Figure 3 – Site viewed from Morshead



Figure 4 – Site viewed from Morshead Road



Figure 5 – Site taken from rear of Bunya Place

2.2 CONTEXT

The site is located in an area subdivided and developed for residential purposes in the 1990s and early 2000s. Figure 6 below depicts the site in such context.



Figure 6: Immediate Locality/Context

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Attachment 1

The land to the immediate west (western side of Morshead Road) comprises traditional dwellings (Refer to Figures 7 and 8) on land zoned R2 – Low Density Residential (Refer to Figure 9) with a 450 sq.m minimum lot size (Refer to Figure 10)



Figure 7 – Land on opposite side of Morshead Road (West)



Figure 8 – Land on opposite side of Morshead Road (West)

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Figure 9 – Existing zoning map extract



Figure 10 – Existing minimum lot size map extract

Land to the immediate north, east and south is zoned R3 – Medium Density Residential with a 250sq.m minimum lot

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Attachment 1

size (Refer to Figures 9 and 10 respectively). Dwellings in the subject locality comprise integrated housing (dwellings designed and constructed on small allotments) some of which exhibit qualities akin to a zero-lot line. In summary, the immediately surrounding residential development is of a medium density nature.



Figure 11 – Site (immediate left) viewed from Bunya Place at rear of site



Figure 12 – Bunya Place looking toward Owen Stanley Street

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Attachment 1



Figure 13 – Streetscape to Immediate North



Figure 14 – Maximum Height of Buildings Map Extract

The prevailing (refer to Figure 5) maximum permissible building height is 9.5 metres.

The subject land is clearly a residue allotment in a medium density residential landscape.

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Attachment 1

3 Objectives or Intended Outcomes (Part 1)

This Planning Proposal has the express purpose of facilitating redevelopment of the site for medium density residential purposes, in a manner compatible with surrounding residential development.

Objective

To facilitate the sensitive development of the subject "infill" site for medium density housing purposes by rezoning the land R3 – Medium Density Residential, ensuring all requisite infrastructure demands are satisfactorily addressed and neighbourhood compatibility optimised.

Outcomes

In delivering the foregoing objective, it is intended that the following outcomes are realised

- ☐ Compatible residential development of the "infill" site
- ☐ Adequate on-site infrastructure is provided
- ☐ Relevant contributions/embellishment of off-site infrastructure impacts are made.
- ☐ Increased housing diversity and affordability will be addressed
- ☐ A framework will be established for more detailed site planning

The subject objective and outcomes were developed in an iterative design led approach. The subject combined constraints and opportunities analysis informed the evolution of an Indicative Development Scheme: provided separately as Annexure "B".

4 Explanation of Provisions (Part 2)

- ☐ Amendment of Camden LEP 2010 Land Zoning map as follows:
 - Map LZN-017 from R2 – Low Density Residential to R3 – Medium Density Residential
- ☐ Amendment of Camden LEP 2010 minimum lot size map as follows:
 - Map LSZ-017 from G (450sq.m) to C (250sq.m) (Refer to Annexure "C")

Finally, it is not proposed to change the Land Application map, Maximum Building Height map (9.5m) or Land Reservation Acquisition map, Heritage map or Urban Release Area map.

5 Justification (Part 3)

5.1 NEED FOR THE PLANNING PROPOSAL

5.1.1 INTRODUCTION

It is initially noted that the level of justification for a Planning Proposal should:

¹ A brief commentary in respect of the evolution of the Indicative Development Scheme is included in Annexure "B".

- ☐ Be proportionate to the impact the planning proposal will have
- ☐ Comprehensive without necessarily being exhaustive
- ☐ Be sufficient to allow a Gateway determination to be made with the confidence that the LEP can be finalised in accordance with the proposed timeframe.

5.1.2 IS THE PLANNING PROPOSAL THE RESULT OF ANY STRATEGIC STUDY OR REPORT?

The Planning Proposal has its origins in the Council Community Strategic Plan engagement progress and some of the District Plan consultation outcomes in respect of managing urban growth and housing diversity. Additionally, it is consistent with the emergent directions in the Camden Draft Local Strategic Planning Statement and related potential future actions.

Further, it is consistent with the Greater Sydney Region Plan (a Metropolis of Three Cities) and Western City District Plan objectives of providing increased housing opportunities, particularly capitalising on existing infrastructure as part of existing urban areas.

5.1.3 IS THE PLANNING PROPOSAL THE BEST MEANS OF ACHIEVING THE OBJECTIVES OR INTENDED OUTCOMES, OR IS THERE A BETTER WAY?

The PPR is considered to represent the best means of facilitating a planning framework for optimisation of residential and sustainable development opportunities on the subject land and associated infrastructure optimisation outcomes. In particular, it provides an opportunity for enhanced housing affordability and diversity at a particularly modest scale, in a manner compatible with prevailing neighbourhood character, local accessibility network and service infrastructure provision.

No more rational approach to achieving the desired objective and its inclusion in a more broad ranging LEP review would potentially lose its 'exposure' to local residents in the community consultation phase.

The proposed rezoning is importantly stylised for direct integration with Camden LEP, 2010, adopting relevant zoning and minimum lot size provisions.

5.1.4 IS THERE A NET COMMUNITY BENEFIT?

The following table addresses the evaluation criteria for conducting a 'net community benefit test' within the Draft Centres Policy (2009) and is considered to be beneficial in establishing the veracity of the Planning Proposal Request (PPR).

Evaluation Criteria	Y/N	Comment
Will the LEP be compatible with agreed State and regional strategic direction for development in the area (e.g. land release, strategic corridors, development within 800m of a transit node)?	Y	The proposed rezoning is compatible with the Greater Sydney Region Plan and Western City District Plan, particularly in respect of liveability and sustainability, and elements of Local Strategic Planning directions as detailed at 5.2.2. Further, the land is proximate to a local bus route.
Is the LEP located in a global/regional city, strategic centre or corridor nominated within the Metropolitan Strategy or other regional/subregional strategy?	N	The subject site is not identified within a key strategic centre or corridor forms part of the existing urban area.
Is the LEP likely to create a precedent or create or change the expectations of the landowner or other landholders?	N	The proposed rezoning is unlikely to create a precedent within the locality or change the expectations of the site as it is unique in its juxtaposition with existing zoned R3 - Medium density residential development.
Have the cumulative effects of other spot rezoning proposals in the locality been considered? What was the outcome of these considerations?	Y	All other recent spot rezonings considered by Council are understood to be consistent with established policy or acceptable departures.

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Will the LEP facilitate a permanent employment generating activity or result in a loss of employment lands?	N	The proposal will facilitate limited employment in the form of construction related activities and on-going maintenance/management.
Will the LEP Impact upon the supply of residential land and therefore housing supply and affordability?	Y	The proposal will have a limited positive impact on residential land supply by adding to the amount of available residential land, in a medium density context. The proposal will increase the housing choice and type of housing and contribute to meeting local residential targets.
Is the existing public infrastructure (roads, rail, utilities) capable of servicing the proposed site? Is there good pedestrian and cycling access? Is public transport currently available or is there infrastructure capacity to support future transport?	Y	The existing public infrastructure will not need significant augmentation to service the land holding. Limited local buses service the area. Existing utilities have sufficient capacity to service the resultant residential development.
Will the proposal result in changes to the car distances travelled by customers, employees and suppliers? If so, what are the likely impacts in terms of greenhouse gas emissions, operating costs and road safety?	N/A	N/A
Are there significant Government investments in infrastructure or services in the area where patronage will be affected by the proposal? If so, what is the expected impact?	Y	The proposal does not require significant further investment in public infrastructure, it will largely utilise the existing infrastructure and services. The developer will extend and upgrade infrastructure to service the development at no cost to government, if required.
Will the proposal impact on land that the Government has identified a need to protect (e.g. and with high biodiversity values) or have other environmental impacts? Is the land constrained by environmental factors such as flooding?	N	The land does not constitute environmentally sensitive land. The inherent geotechnical sensitivity of the site will require sensitive civil engineering and building practices.
Will the LEP be compatible/complementary with surrounding adjoining land uses? What is the impact on the amenity in the location and wider community? Will the public domain improve?	Y	The proposal is compatible with nearby adjoining residential land uses and future residential uses. It will ensure appropriate compatibility with surrounding land use. The site is not an isolated residential development and is capable of being well serviced and is proximate to the Mount Annan Centre.
Will the proposal increase choice and competition by increasing the number of retail and commercial premises operating in the area?	Y	It will likely increase the patronage of local retail and commercial facilities.
If a stand-alone proposal and not a centre, does the proposal have the potential to develop into a centre in the future?	N	The proposal is not a commercial/retail facility.
What are the public interest reasons for preparing the draft plan? What are the implications of not proceeding at that time?		The proposal will provide additional specialist housing opportunities to assist in the delivery of meeting the housing growth and dwelling mix actions from the District and local strategies. It will bring an enhanced level of patronage of local commercial/retail infrastructure. If the rezoning was not supported, the site would potentially remain in a "holding pattern" and the provision of additional diverse housing would not be realised. In addition, the land may not be maintained and over time would detract from the

	<p>amenity of the locality.</p> <p>Further, the holistic "master planning" of the precinct would not be realised, and incremental urban development may occur. It provides a long-term place focussed strategy.</p>
--	---

Overall, the proposal will provide a net community benefit for the following reasons:

- ☐ It constitutes a balanced and appropriate use of land and is in keeping with the adjoining residential character and doesn't impinge adversely on its broader local setting.
- ☐ The proposal will contribute to Council's requirement to facilitate new dwelling growth, in accordance with current plan expectation, in doing so it will importantly provide an alternate housing product.
- ☐ The proposal will facilitate a mix of dwelling types that encourage social mix and provide housing choice to meet the needs of the community.
- ☐ It is located within an existing urban area, with a capacity to optimise infrastructure utilisation.
- ☐ The proposal will not result in any significant adverse environmental or amenity impacts.
- ☐ It will create limited local employment opportunities through the construction jobs to carry out the civil and building works to the benefit of the local economy.
- ☐ Limited home business opportunities will also be facilitated.

5.2 RELATIONSHIP TO STRATEGIC PLANNING FRAMEWORK

5.2.1 WILL THE PLANNING PROPOSAL GIVE EFFECT TO THE OBJECTIVES AND ACTIONS OF THE APPLICABLE REGIONAL OR DISTRICT PLAN OR STRATEGY (INCLUDING ANY EXHIBITED DRAFT PLANS OR STRATEGIES)

The Metropolitan and sub-regional planning context has recently been revised with the adoption of the Greater Sydney Region Plan – A Metropolis of Three Cities and the Western City District Plan.

Produced below are a strategic merit and site – specific merit assessment:

5.2.1.1 STRATEGIC MERIT TESTS

5.2.1.1.1 STRATEGIC TEST 1

Consistent with the relevant regional plan outside of the Greater Sydney Region, the relevant district plan within the Greater Sydney Region, or corridor/precinct plans applying to the site, including any draft regional, district or corridor/precinct plans released for public comment.

Greater Sydney Region Plan

Objective 4 – Infrastructure use is optimised

The requisite infrastructure to service development at the density proposed is readily available and does not require major augmentation.

Objective 6 – Services and infrastructure meet communities' changing needs

Community infrastructure and services are readily available to service the resultant increase in population. Relevant developer contributions would be paid pursuant to Camden Contributions Plan 2011 and Contributing Plan No. 3 (Drainage).

Objective 7 – Communities are healthy, resilient and socially connected

The future residents will have the opportunity to live a healthy lifestyle in a contemporary urban community that has:

³ It should also be noted that the positive strategic and site-specific merit conclusions are also supported by:

- ☐ The Net Community Benefit (5.14 PPR)
- ☐ SEPP overview (5.2.3 PPR and Annexure "D")
- ☐ Section 9.1 overview (5.2.4 PPR and Annexure "E")

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access to sustainable social and physical infrastructure. Opportunities readily present to form a small, connected community cell and integrate with the broader neighbourhood.

Objective 10 – Greater housing supply

The Proposal will at a modest scale contribute to increased housing supply, in a quantum slightly greater than would otherwise be the case.

Objective 11 – Housing is more diverse and affordable

The proposal will facilitate limited access to more diverse housing opportunities and potentially more affordable housing products.

Objective 25 – The coast and waterways are protected and healthier

Appropriate integrated stormwater management will service the proposal and ensure that the accepted Narellan Creek and broader Nepean River water quality standards are met and local potential inundation mitigated.

Objective 27 – Biodiversity is protected, urban bushland and remnant vegetation is enhanced

There will be limited loss of local biodiversity. Importantly, significant street trees will be introduced to the local environment by the proposal.

Objective 28 – Scenic and cultural landscapes are protected

The neighbourhood does not constitute an iconic scenic or cultural landscape.

Objective 37 – Exposure to natural and urban hazards is reduced

The proposal is not exposed to any natural or urban hazards. Further, through the opportunities to develop integrated land and housing packages with framework landscaping plantings it is possible, at a modest scale, to minimise urban impacts.

Western City District Plan

Planning Priority W1 – Planning for a city supported by infrastructure

Requisite infrastructure is in place and does not need major augmentation. Relevant infrastructure contributions will be payable pursuant to Camden Contributions Plan, 2011 and Contributions Plan No. 3 (Drainage)

Planning Priority W5 – Providing housing supply, choice and affordability, with access to jobs, services and public transport

The proposal will contribute to a modest increase in housing supply beyond that permissible under the prevailing R2 – Low density residential controls. Further, it will facilitate limited access to more diverse housing forms and potentially more affordable housing products.

Planning Priority W12 – Protecting and improving the health and enjoyment of the District's waterways

The proposal is capable of fulfilling stormwater management targets developed for the Narellan Creek and broader Nepean River catchments.

Planning Priority W15 – Increasing urban tree canopy cover and delivering Green Grid connections

The current street tree void will be addressed by targeted street tree planting attached to the proposal.

Planning Priority W20 – Adapting to the impacts of urban and natural hazards and climate change

Integrated development opportunities, supported by framework landscape plantings will assist in minimising, at a particularly modest scale, climate change impacts.

5.2.1.1.2 STRATEGIC TEST 2

Consistent with a relevant local strategy that has been endorsed by the Department.

The former Department of Planning and Environment set a timeframe of mid 2019 for local councils to prepare local strategic planning statements. This statement will describe a 20-year vision for land use planning in the local area, the special characteristics which contribute to local identity, shared community values to be maintained and enhanced, and how growth and change will be managed into the future. The statement will also include housing and productivity targets, and identify growth areas and infrastructure needs, to act as the strategic link between the Western City District Plan, the Camden Local Government Area planning controls.

Camden Council has recently compiled a draft Local Strategic Planning Statement.

Camden 2040 (Council's Community Strategic Plan)

The Planning Proposal is also consistent with Council's Community Strategic Plan – Camden 2040 (CSP).

This community inspired strategic plan is Council's highest-level strategic plan and seeks to chart the Local Government Areas future development, with a target vision of a "Sustainable Camden Local Government Area by 2040". In doing so it summarises the challenges before it, the diversity of stakeholders and the need for a collaborative partnership.

The Camden Community Strategic Plan has as its focus six Key Directions critical to the delivery of Camden 2040; namely:

- ☐ Actively managing Camden LGA's growth
- ☐ Healthy urban and natural environment
- ☐ A prosperous economy
- ☐ Effective and sustainable transport
- ☐ An enriched and connected community
- ☐ Strong local leadership

The Plan and these themes are developed clearly against the backdrop of the State Plan and the Sydney Regional Action Plan.

In respect of the Key Directions it is noted:

Actively Manage Camden LGA's Growth

Preamble

Effectively managing growth achieving a balance between large population increases and keeping the valued characteristics of the Camden LGA as it is now.

The proposal has the capacity to sensitively integrate with the physical and social fabric of the existing neighbourhood. Further, it is not inconsistent with the following objective and select strategies.

Objectives

1.1 Urban Development is managed effectively

Strategies

1.1.1 Ensure provision of appropriate urban development for sustainable growth in the Camden LGA.

1.1.2 Manage and plan for a balance between population growth, urban development and environmental protection.

Healthy Urban and Natural Environment

Preamble

Camden's natural and built environment are central to sustaining the health, wellbeing and prosperity of the local population.

The proposal does not adversely impact the natural and built environments to unacceptable levels. Further, it is not

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inconsistent with the general thrust of the following objective and select strategies.

Objective

2.1 Caring for urban and natural environment, including heritage sites.

Strategies

2.1.1 Protect the built and natural heritage of the Camden LGA.

2.1.10 Promote efficient water and energy use.

5.2.1.1.3 STRATEGIC TEST 3

Responding to a change in circumstances, such as the investment in new infrastructure or changing demographic trends that have not been recognised by existing planning controls.

The PPR seeks to respond to a change in ownership and development aspirations that recognise the role of a large residue parcel largely surrounded by land zoned for medium density residential purposes. The "inconsistent" existing planning controls represent the limited aspirations of the former owner and have led to the current anomalous situation. Such situation can be readily rectified as proposed in the PPR.

5.2.1.2 SITE SPECIFIC MERIT TESTS

5.2.1.2.1 SITE SPECIFIC TEST 1

The natural environment (including known significant environmental values, resources or hazards).

The natural environment has been significantly disturbed through past rural residential and low-density residential development. The accompanying ecological report (Nerfa Environmental) concluded any additional vegetation removal to be acceptable. Domestic scale plantings and street tree planting will enhance local biodiversity.

5.2.1.2.2 SITE SPECIFIC TEST 2

The existing uses approved uses and likely future uses of land in the vicinity of the land subject to the proposal.

A comprehensive neighbourhood analysis was undertaken by AE Design. Such analysis of existing residential dwelling stock identified it to be of a simple contemporary nature comprising single and predominantly two storey brick veneer/tile clad development.

It is likely that the surrounding development will ultimately be redeveloped in accordance with the prevailing medium density residential development controls.

5.2.1.2.3 SITE SPECIFIC TEST 3

The services and infrastructure that are or will be available to meet the demands arising from the proposal and any proposed financial arrangements for infrastructure provision.

The requisite service infrastructure is readily available and will not require major augmentation. Community infrastructure and services are readily available to service the modest increase in population. Relevant developer contributions would be paid pursuant to Camden Contributions Plan 2011 and Contributions Plan No.3 (Drainage).

5.2.2 WILL THE PLANNING PROPOSAL GIVE EFFECT TO COUNCIL'S ENDORSED LOCAL STRATEGIC PLANNING STATEMENT, OR ANOTHER ENDORSED LOCAL STRATEGY OR STRATEGIC PLAN?

5.2.2.1 CAMDEN DRAFT LOCAL STRATEGIC PLANNING STATEMENT 2019

The Camden draft Local Strategic Planning Statement – 2019 (LSPS) provides a “20 year planning vision emphasising landuse, transport and sustainability objectives to demonstrate how Camden Local Government Area (Camden) will change to meet the community's needs over the next 20 years”, in a manner consistent with the Greater Sydney Region Plan and Western City District Plan at the local level.

It leverages off the Camden Community Strategic Plan – Camden 2040 providing a “landuse strategy” on how “the land will be used to achieve the community's broader goals”.

The LSPS comprises four (4) themes which mirror the themes of the Sydney Region Plan and District Plan; namely:

- ☐ Infrastructure and collaboration
- ☐ Liveability
- ☐ Productivity
- ☐ Sustainability

These themes are proposed to be implemented through 21 local priorities delivered through strategies to guide landuse decisions and actions to be undertaken by Council.

In respect of the Key Priorities it is noted:

Infrastructure and Collaboration

Preamble

To become a more liveable, productive, sustainable community needs additional infrastructure and services in the right places and at the right time; with the achievement of some dependent upon multi-level collaboration.

Local Priorities

The most relevant Local Priority is Local Priority I1 – Aligning infrastructure delivery with growth. The PPR is not inconsistent with this Local Priority, at a particularly modest scale. Further, it is not inconsistent with Local Priorities I2, I3 and I4.

Liveability

Preamble

Maintaining and improving liveability involves providing housing, infrastructure and services that meet peoples needs and a range of housing types in the right locations with measures to improve affordability.

Local Priorities

Local Priority L1 is the most relevant local priority – Providing housing choice and affordability for Camden's growing and changing population.

The PPR provides a modest scaled opportunity to enhance housing diversity and potentially affordability in a locality generally identified for such opportunities, this being reflected in the part in the surrounding zoning.

The proposal also optimises utilisation of prevailing infrastructure and services without “overtaxing” the same.

The proposed actions of compiling a Camden Housing Market Analysis, Housing Strategy and Affordable Housing Strategy will likely reinforce the importance of “infill” sites in medium density residential contexts such as is the subject case.

⁴ That is, a platform of Planning Priorities, Strategic directions and actions.

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Sustainability

Preamble

Improving sustainability

Local Priorities

Local Priority S2 – Protecting and enhancing the health of Camden's waterways and strengthening the role and prominence of the Nepean River is further realised through site specific stormwater management initiatives.

5.2.3 IS THE PLANNING PROPOSAL CONSISTENT WITH APPLICABLE STATE ENVIRONMENTAL PLANNING POLICIES?

The study area is subject to the provisions of a raft of State Environmental Planning Policies (SEPPs).

An overview assessment of compliance with the prevailing SEPPs forms Annexure "D".

The policies highlighted importantly do not prohibit and/or significantly constrain realisation of the Planning Proposal Request.

Deemed State Environmental Planning Policy – Sydney Regional Environmental Plan No 20 – Hawkesbury-Nepean River (No 2 – 1997)

The proposed development will importantly be serviced by reticulated water and sewer facilities. Relevant sediment and erosion control measures will need to be implemented at the development stage to protect receiving waters (Narellan Creek) of the Nepean system. No sensitive landscapes are impacted by the proposal. Further, waste disposal, air quality and predicted climate change are considered negligible having regard to the scale of the proposal. The general planning considerations and specific policies and strategies will be observed. Further, the relevant development controls will be addressed in future development.

State Environmental Planning Policy No 55 – Remediation of Land

This policy aims to promote the remediation of contaminated land for the purpose of reducing the risk or harm to human health or any other aspect of the environment. A Stage 1 Preliminary Environmental Investigation (Refer to Annexure "F") concluded that there was unlikely to be a significant constraint to the proposed use for residential purposes. Indeed, the Site was deemed suitable for residential development, with no further assessment work considered necessary.

5.2.4 IS THE PLANNING PROPOSAL CONSISTENT WITH APPLICABLE MINISTERIAL DIRECTIONS (SECTION 9.1 DIRECTIONS)?

Section 9.1 Directions detail matters to be addressed in LEPs so as to achieve particular principles, aims and objectives or policies. Produced at Annexure "E" is a checklist of compliance with applicable Directions.

All relevant Directions can be adequately accommodated, or departures justified in the preparation of an LEP amendment of the nature foreshadowed in this PPR.

The relevant considerations in respect of the Section 9.1 Directions highlighted to be of relevance are identified in Annexure "E", with an expanded commentary in respect of the most relevant to the subject PPR detailed below.

Direction 2.1 Environmental Protection Zones

The objective of this Direction is to protect and conserve environmentally sensitive areas.

An ecological constraints assessment was undertaken by Nardia Environmental. The Assessment concluded that

avoidance of limited established vegetation should be pursued as an initial action, however, vegetation removal was not considered detrimental to the project (Refer to Annexure "G").

Direction 3.1 Residential Zones

The objectives of this Direction are to:

- (a) encourage a variety and choice of housing types to provide for existing and future housing needs;
- (b) to make efficient use of existing infrastructure and services and ensure that new housing has appropriate access to infrastructure and services; and
- (c) to minimise the impact of residential development on the environment and resource lands.

The objectives are met in that the proposal does not propose to change the residential permissibility, seeks to provide increased diversity and potentially affordability, leverages off existing infrastructure and has no adverse impact on the environment or resource lands.

Direction 3.3 Home Occupations

The objective of this Direction is to encourage the carrying out of low impact small businesses in dwelling houses.

Home occupations are permissible uses without consent in the prevailing zone and will not be impacted by the proposal.

Direction 3.4 Integrated Land Use and Transport

The objective of this Direction is to ensure that urban structures, building forms, land use locations, development designs, subdivision and direct layouts achieve a comprehensive suite of planning objectives including:

- (a) improving access to housing, jobs and services by walking, cycling and public transport, and
- (b) increasing the choice of available transport and reducing dependence on cars, and
- (c) reducing travel demand including the number of trips generated by development and the distances travelled, especially by car, and
- (d) supporting the efficient and viable operation of public transport services, and
- (e) providing for the efficient movement of freight.

The Proposal is consistent with the Direction in that:

- ☐ The site forms part of the Mount Annan/Narellan urban area which is serviced by public transport.
- ☐ The site is surrounded by existing similar density residential development.
- ☐ The site is accessible to public bus services on the surrounding roads.

Further, the Traffic Impact Assessment (Refer to Annexure "H") concluded:

1. There will be no adverse traffic impacts of the development on the surrounding road network.
2. The current traffic flows on the surrounding roads are considered to be appropriate for local residential roads, where traffic is free flowing without any major queuing or delays in peak hours, with spare capacity.
3. The estimated traffic generated trips are considered to be acceptable and of low impact on the surrounding road network and can be easily accommodated with the existing road network.
4. The external impact of the traffic generated by proposal is considered to be satisfactory and will remain well within the Environmental capacity of the surrounding streets, with no adverse impacts on the amenity of the area.
5. The location and layout of the proposed access road is considered to be adequate and will provide vehicular access to the expected future residential subdivision and is in accordance with Council's Engineering Design Specification and Council's DCP.
6. The subject site has good access to existing public transport services in the form of regular bus services.

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Overall the traffic impacts of the proposal were considered acceptable.

Additionally, the site has access to the modest, safe pedestrian movement network.

Direction 6.3 Site Specific Provisions

The objective of this Direction is to discourage unnecessarily restrictive site-specific planning controls.

The PPR does not propose to introduce site-specific planning controls.

Direction 7.1 Implementation of the Metropolitan Strategy

The objective of this Direction is to give legal effect to the vision, land use strategy, policy, outcomes and actions contained in the Metropolitan Strategy.

The PPR is considered to be consistent with the Metropolitan Strategy 'The Greater Sydney Region Plan – A Metropolis of Three Cities' and the companion document, the Western City District Plan particular in respect of the planning principles that underpin the quest for housing diversity and affordability (Liveability) and natural systems conservation (sustainability), as described in Section 5.2.1.1.1 of this report.

5.3 ENVIRONMENTAL, SOCIAL AND ECONOMIC IMPACT

5.3.1 IS THERE ANY LIKELIHOOD THAT CRITICAL HABITATS OR THREATENED SPECIES, POPULATIONS, ECOLOGICAL COMMUNITIES OR THEIR HABITANTS, WILL BE ADVERSELY AFFECTED AS A RESULT OF THE PROPOSAL?

No. This matter has been considered under Section 9.1 Direction 2.1 above and in the context of the specialist Nara Environmental Assessment (Refer to Annexure "G"). Importantly, a balanced planning outcome is achievable.

5.3.2 HAS THE PLANNING PROPOSAL ADEQUATELY ADDRESSED ANY SOCIAL AND ECONOMIC EFFECTS?

The Proposal will address the current land supply limitations and move toward fulfilling the accommodation needs attached to the District population and housing projections. In doing so, diversity and affordability of housing in particular is likely to be enhanced.

The Proposal will importantly contribute to land supply in a positive manner particularly in respect of housing diversity and affordability at a modest scale.

Further, the development process will have a positive economic impact upon the development/construction industry, inclusive of the prospects of local employment on many fronts, both in design and construction; whilst the ultimate residents will support local business and commerce with elements potentially engaging in home businesses.

Indeed, under the proposed scenario, no adverse social and/or economic impacts are foreshadowed.

5.4 STATE AND COMMONWEALTH INTERESTS

5.4.1 INTRODUCTION

The 'Gateway' determination will identify the nature and extent of consultation required with State or Commonwealth Public Authorities. This may include:

- ☐ In respect of consultation under section 3.25 of the EP&A Act pertaining to critical habitat or threatened species populations, ecological communities or their habitats is unlikely to be required.
- ☐ consultation required in accordance with a Ministerial Direction under section 9.1 of the EP&A Act; and
- ☐ consultation that is required because in the opinion of the Minister (or delegate), a State or Commonwealth

public authority will or may be adversely affected by the proposed LEP amendment.

5.4.2 IS THERE ADEQUATE PUBLIC INFRASTRUCTURE FOR THE PLANNING PROPOSAL?

Available public infrastructure is likely to be sufficient for the proposed development in respect of service mains. On site reticulation of services will be required and potentially contributions to the existing trunk stormwater management system.

Development of the land as proposed in this PPR will with efficient integration with the existing service infrastructure network not occasion the need for any significant off-site enhancements.

Road traffic impacts have been established to be negligible and not require any major enhancement/s. (Refer to Annexure "H").

Any amplification/enhancement and provision of both onsite and offsite infrastructure, including community infrastructure, will involve relevant contributions pursuant to Section 7.11 (EP&A Act) and/or a Voluntary Planning Agreement. Such contributions will be determined in response to more detailed planning actions as the Planning Proposal progresses and/or the development assessment process unfolds.

5.4.3 WHAT ARE THE VIEWS OF STATE AND COMMONWEALTH PUBLIC AUTHORITIES CONSULTED IN ACCORDANCE WITH THE GATEWAY DETERMINATION?

The relevant State and Commonwealth public authorities would be consulted following the outcome of the "Gateway" determination. Council would be responsible for carrying out this consultation in accordance with the EP&A Act.

6 Mapping (Part 4)

The following mapping amendments and additions to Camden Local Environmental Plan 2010 (CLEP2010), as summarised in Section 4 (Part 2), are proposed. Such mapping is to be prepared in accordance with the Department of Planning, Industry and Environment's (DPIE) "Standard Technical Requirements for Spatial Datasets and maps".

The subject mapping importantly seeks to contain sufficient information to explain the substantive effect of the proposed LEP amendments.

Item	Change to zoning maps of CLEP 2010 for the subject land	Action	Map changes
1	Currently the subject land is zoned R2 – Low Density Residential	Amend the relevant Land Zoning Map sheet to R3 – Medium Density Residential	Map LZN-017 from R2 – Low Density Residential to R3 – Medium Density Residential
2	Currently the subject land has a minimum lot size of 450 sq.m	Amend the relevant maps sheets from depicting a minimum lot size area of 500 sq.m to a minimum lot size area of 250 sq.m These amendments are proposed so as to facilitate comprehensive subdivision for medium density residential purposes.	Map LSZ-017 from G (450sq.m) to C (250sq.m)

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7 Community Consultation (Part 5)

Community consultation remains an important element of the Plan making process. The companion document "A Guide to Preparing Local Environmental Plans" outlines community consultation parameters.

The subject provisions in respect of notification and the exhibition materials to support the consultation will be observed.

It is considered that a relevant Planning Proposal will be of significance to the community and Authorities, notwithstanding its small scale, given the significant transformation of the vacant "infill" allotment proposed. As such, it is appropriate that the Planning Proposal should be exhibited for a minimum period of 28 days.

Typically, Council (as the RPA) is likely, as a minimum to:

- ☐ Place notification in a newspaper that circulates in the Camden Local Government Area
- ☐ Place notification on Council's website.
- ☐ Notify in writing all affected and adjoining landowners, under the circumstances of the subject Planning Proposal

The views of State and Commonwealth Public Authorities, although unlikely to be significant, will be obtained during the consultation phase, as the PP is advanced.

Before proceeding to public exhibition, the Director General of Planning (or delegate) must approve the form of the Planning Proposal as being consistent with the "Gateway" determination.

Any submissions received in response to the public exhibition process would need to be fully considered in accordance with the prevailing statutory provisions.

An overview of the neighbourhood consultation undertaken to date is presented as Annexure "J".

8 Project Timeline (Part 6)

The following notional timeline is proposed for advancing the subject Planning Proposal.

Action / Stage	Target Date
Lodgement of Planning Proposal Request with Council	November, 2018 (Amended December, 2019)
Review by Council/Local Planning Panel	
Community and public Authority consultation	
Report to Council	
Referral to Department of Planning and Environment for a Gateway Determination	
Anticipated commencement date (Date of Gateway Determination)	
Anticipated timeframe for completion of additional required technical / study information	
Community and Authority Consultation	
Consideration of submissions by Council and potential amendments (Note: Assumes no public hearing)	
Report to Council	
Submission to Department of Planning and Environment to finalise the LEP amendment	
Anticipated making of LEP amendment if delegated	
Anticipated date of LEP amendment notification to	

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Department of Planning and Environment	
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Having regard to the preceding notional timeline it is anticipated that a timeframe of approximately 15 months should be provided to complete the relevant LEP amendment.

9 Conclusion

The subject PPR has sought to clearly understand the neighbourhood context and housing market and respond in a positive manner through the rezoning for medium density residential purposes.

In doing so, it seeks to facilitate a small compatible increase in appropriately located and designed alternative, affordable housing.

The design led approach underpinning the subject PPR clearly attests to the foregoing.

Associated infrastructure impacts will be addressed on-site and through appropriate contributions to the relevant service providers, including Council. Conditions of development consent and a potential Voluntary Planning Agreement will formalise such commitments.

Importantly, the underpinning change to the proposed local planning controls is consistent with the prevailing adjoining planning controls.

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PLANNING PROPOSAL REQUEST
No. 33 Morshead Road, Mount Annan
(Camden Council)



Attachment 2

Prepared For:
City Wide LPI
Prepared By:



Volume 2: Annexures

October 2018

Amended December 2019

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This Report has been prepared exclusively for submission to Camden Council as an initial report in the land rezoning process. It is not to be relied upon by any other person/party.

The information contained in this Report has been compiled largely from both principal and secondary information sources and does not purport to be exhaustive. It is, however, considered to be sufficiently rigorous to engender initial Council and community support to advancing a relevant Planning Proposal amendment to the prevailing LEP.

PPS gives no warranty that these information sources are current and accepts no responsibility for any errors or damage or loss, however caused, suffered by any individual or corporation.

Attachment 2

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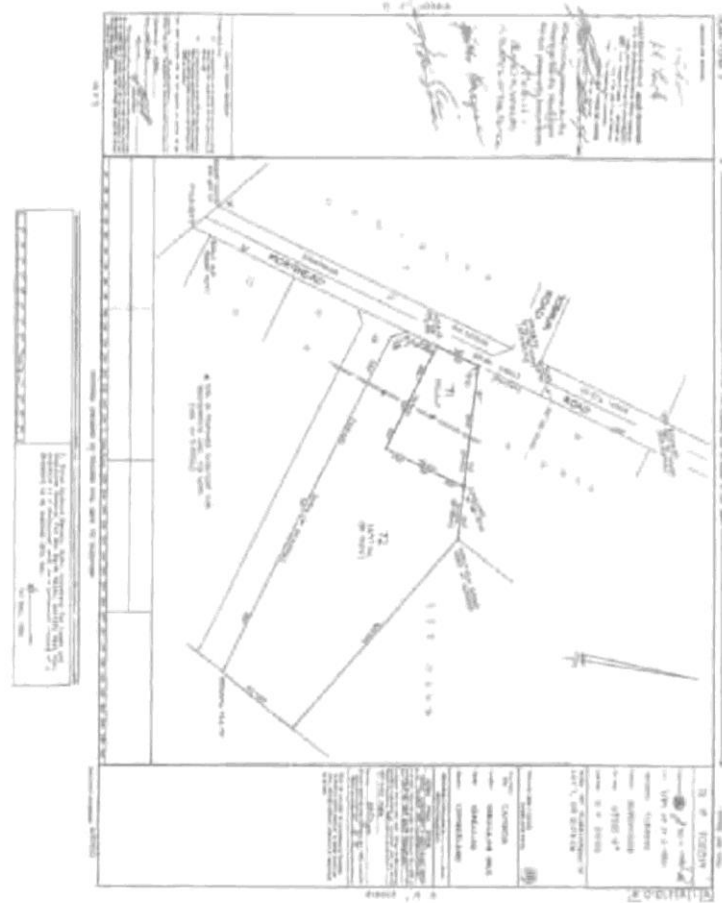
Annexures

- A: Subject Land Holding (Deposited Plan)
- B: Indicative Development Scheme
- C: Suite of draft Mapping Amendments to Camden Local Environmental Plan, 2010
- D: Overview of State Environmental Planning Policies
- E: Overview of Section 9.1 Directions (EP&A Act)
- F: Stage 1 – Preliminary Environmental Investigation
- G: Ecological Constraints Assessment
- H: Traffic Impact Assessment
- I: Urban Design Report and Development (Indicative Scheme No. 2) Overview
- J: Overview of Past Neighbourhood Consultation
- K: Miscellaneous Supporting Documents

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Annexure "A"
Subject Land Holding (Deposited Plan)

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Annexure “B”

Indicative Development Scheme

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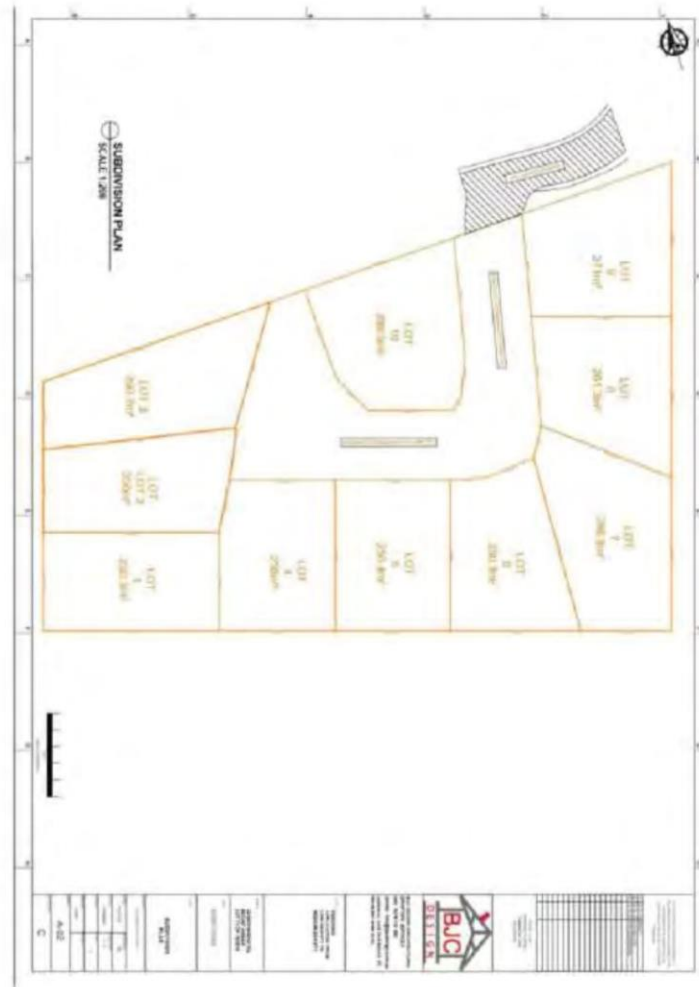


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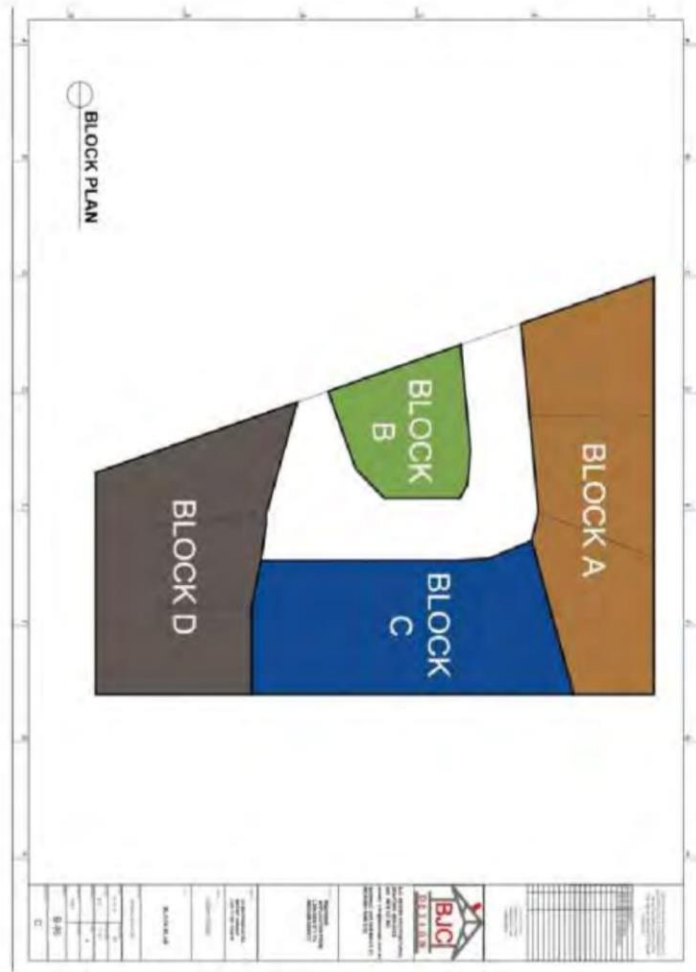
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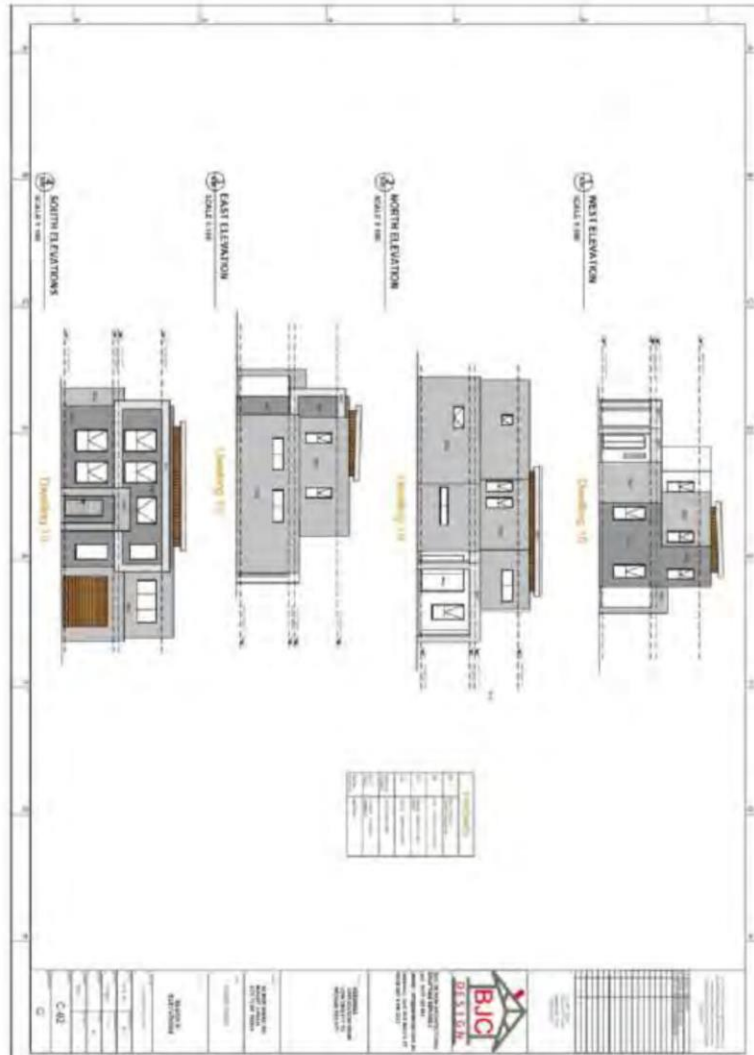
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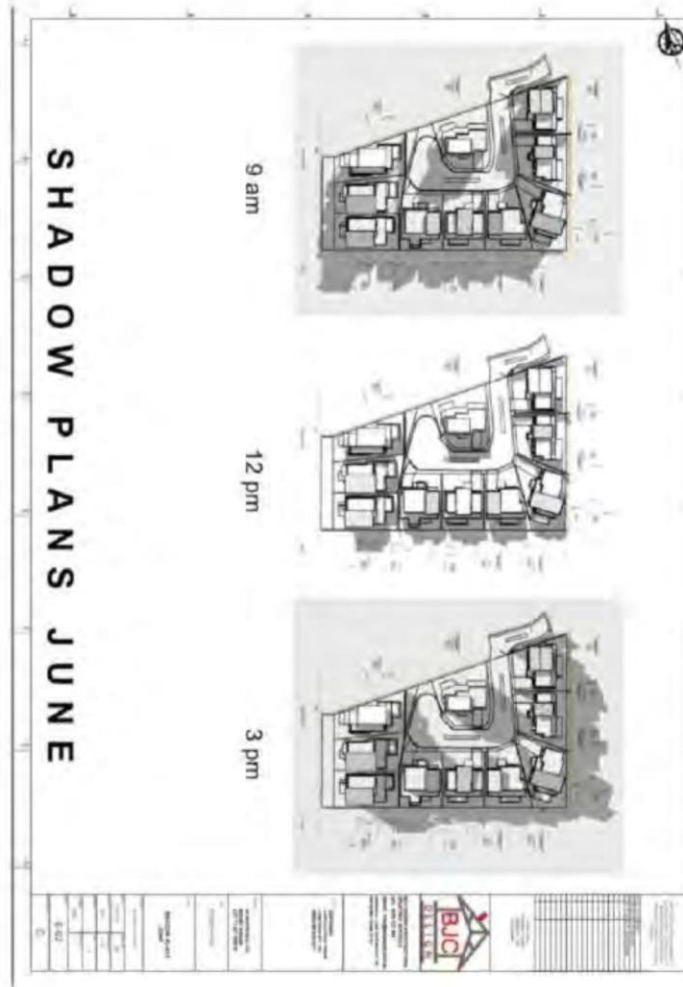


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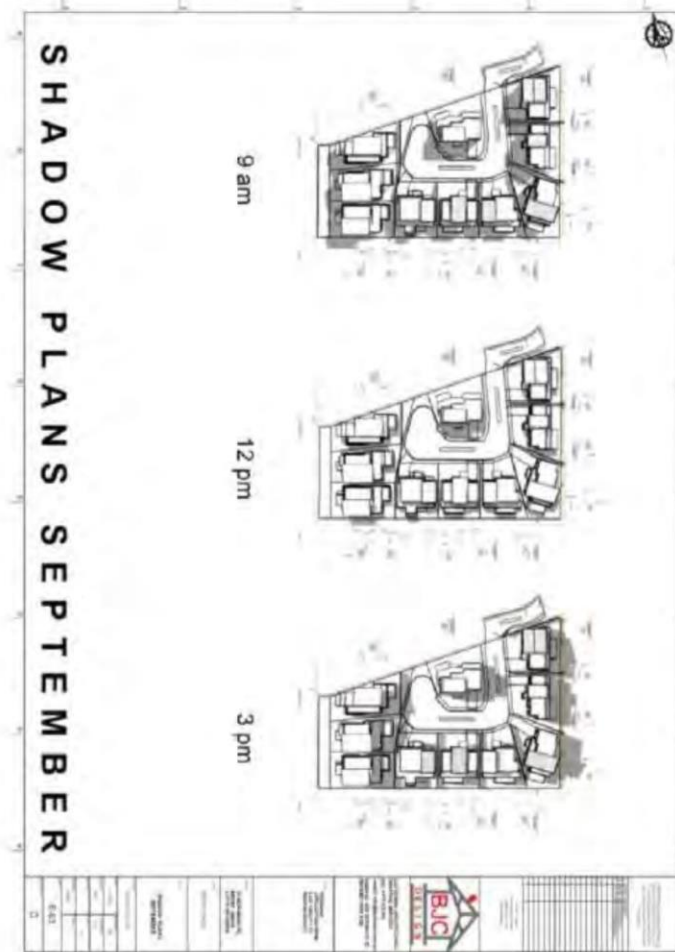
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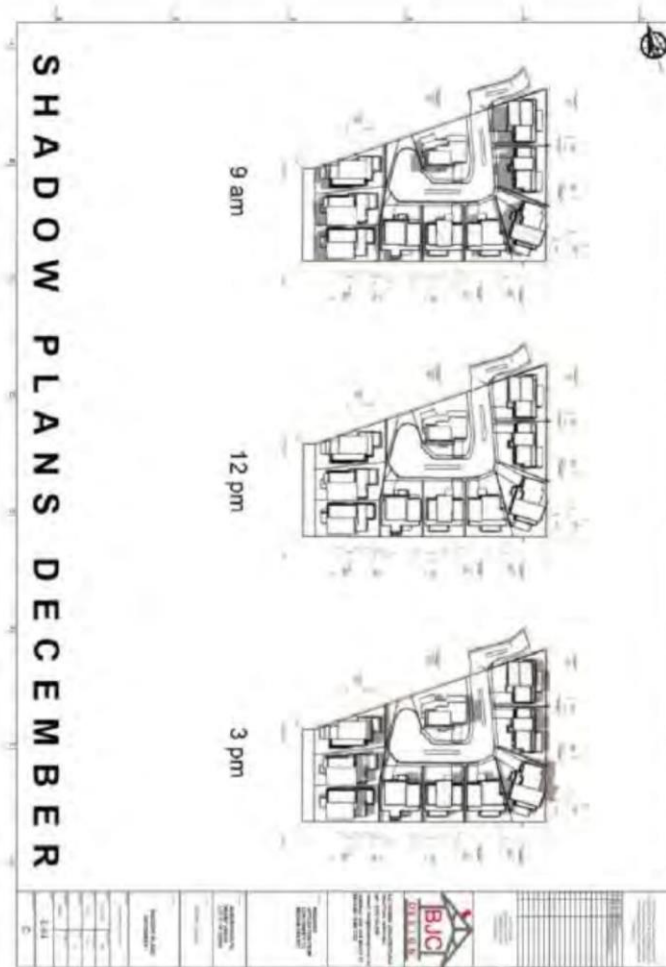
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6.2 Indicative Concept Plan

6.2.1 Envelope Plan

Figure 16 illustrates an indicative concept for the site showing:

- 16 proposed lots, each comprising a two storey residential dwelling. A detailed breakdown of each lot is shown in Table 1 below.

Table 1 Proposed Lot Areas

Lot Number	Area (sqm)
1	224
2	224
3	211
4	200
5	207
6	200
7	200
8	209
9	212
10	210

- Vehicle access off:
 - Morshead Road for Lot 1 to Lot 3;
 - Buna Close for Lot 8 and
 - Proposed extension of Buna Close to be dedicated to Council for remaining 6 lots.
- On-site verge:
- 2 on-site public car parking
- Connectivity for a new street front within the site for the widest lot of existing vegetation on the site for proposed development
- Potential for 4 new street trees to be planted along the road verge along Morshead Road.
- Development area consistent with DCP setbacks shown in a detailed site plan.
- Minimum private open space consistent with DCP requirements, and
- Indicative driveway access into site.
- 10 proposed lots, each access



Figure 16: Proposed Lot Layout

17

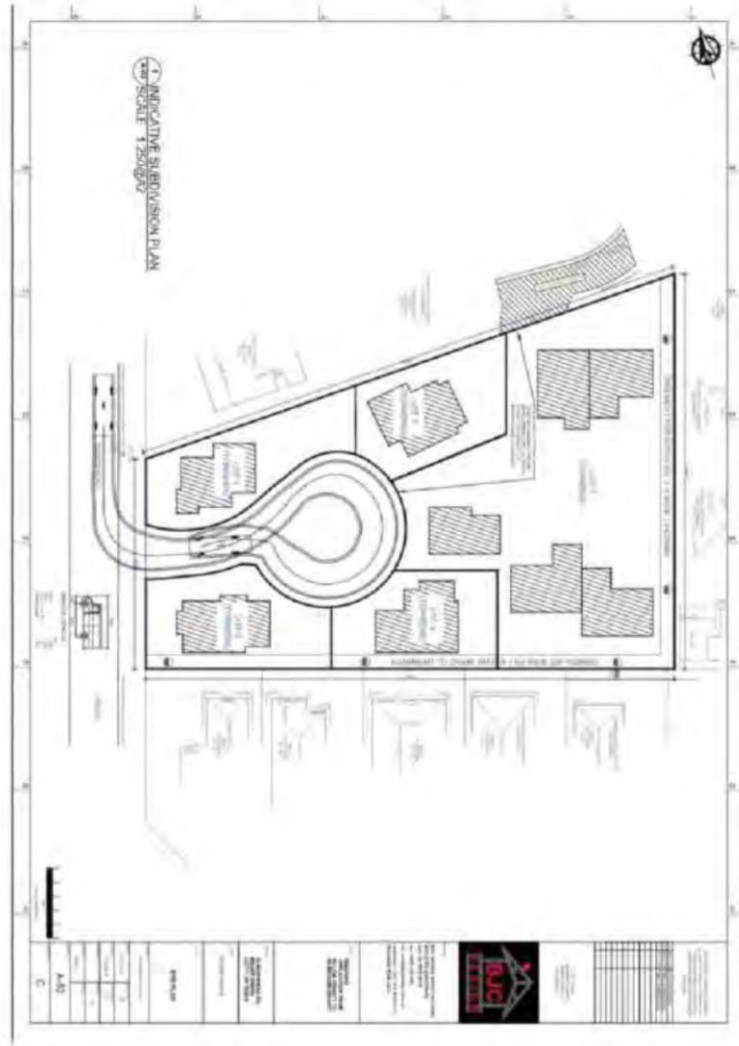
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Version 3

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Attachment 2



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Attachment 2

Overview of “Evolution” of Indicative Development Scheme

Version 1

Endeavour to:

- Optimise Torrens title lot yield consistent with prevailing adjoining 250sq.m minimum lot standard.
- Minimise number of road intersections on Morshead Road within close proximity
- Leverage off Buna Close infrastructure
- Respect adjoining Morshead Road development
- Respect prevailing character and density generally

Version 2 (Subject of specialist A.E Design Urban Design Analysis – Refer to Annexure “I”)

Endeavour to:

- Optimise Torrens title lot yield consistent with prevailing adjoining 250sq.m minimum lot standard.
- Minimise impact of on-site road and turning manoeuvres.
- Leverage off Buna Close infrastructure
- More fully respect adjoining Morshead Road development
- Optimise compatibility with existing character generally
- Optimise utility of private open space, including solar access
- Reflect desired future character

Version 3 (Response to Council design prompts)

Endeavour to:

- Minimise vehicle movements in Buna Close
- Optimise on-site waste management/servicing
- Ensure minimum lot size of 250sq.m is achieved
- Increase diversity of housing form (small lot Torrens Title and multi-dwelling potential Strata Title)
- More accurately reflect desired future character
- Potentially more fully respond to limited neighbour concerns

Annexure “C”

**Suite of Draft Mapping Amendments to
Camden Local Environmental Plan, 2010**

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Attachment 2

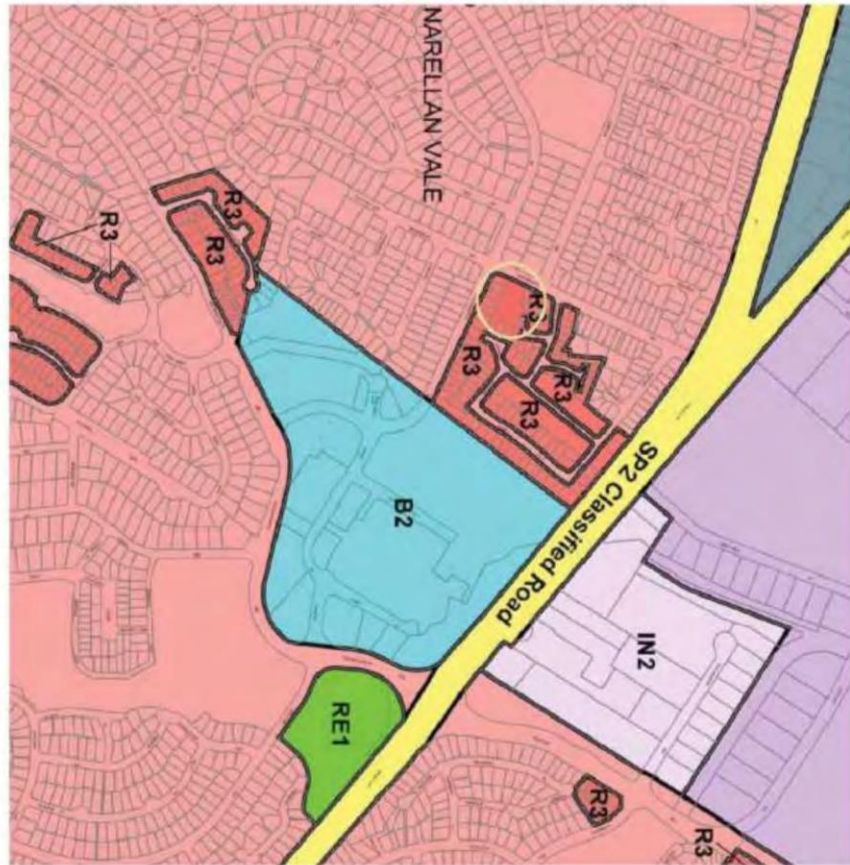
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Annexure “D”

Overview of State Environmental Planning Policies

Attachment 2

Note

The following State Environmental Planning Policies have been deleted in response to a Property Report generated from the NSW Government planning portal and analogous Planning Proposals recently prepared by Camden Council.

SEPP No. 4 – Development Without Consent and Miscellaneous

Complying Development SEPP No. 6 – Number of Storeys in a Building

SEPP No. 22 – Shops and Commercial Premises

SEPP No. 30 – Intensive Agriculture

SEPP No. 47 – Moore Park Showground

SEPP No. 52 – Farm Dams and other Works in Land and Water

Management Plan Areas SEPP No. 59 – Central Western Sydney Economic

and Employment Area SEPP No. 60 – Exempt and Complying Development

SEPP No. 62 – Sustainable Aquaculture

SEPP No. 71 Coastal Protection

SEPP (Kurnell Peninsula) 1989

SEPP Sydney Region Growth Centres, 2006

SEPP Temporary Structure and Places of Public

Entertainment SEPP Kosciuszko National Park –

Alpine Resorts, 2007 SEPP Rural Lands, 2008

SEPP Western Sydney Parklands

SEPP Western Sydney Employment Lands, 2009

SEPP Sydney Drinking Water Catchment, 2011

SREP Drinking Water Catchments No. 1

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Attachment 2

Site Environmental Planning Policies (SEPPs)	Consistency	Comments
SEPP No 1 Development Standards	N/A	CLEP 2010 is a Standard Instrument Local Environmental Plan. It incorporates Clause 4.6 Exceptions to Development Standards, which negates the need for consistency with SEPP 1.
SEPP No. 14 - Coastal Wetlands	N/A	Not applicable in the Camden LGA.
SEPP No. 19 - Bushland in Urban Areas	N/A	The Vegetation on-site does not constitute urban bushland. Accordingly there is no adverse impact.
SEPP No. 21 - Caravan Parks	N/A	Not applicable to this PPR.
SEPP No. 26 - Littoral Rainforests	N/A	Not applicable in the Camden LGA.
SEPP No. 33 - Hazardous and Offensive Development	N/A	Not applicable to this PPR, given the nature of the land.
SEPP No. 35 - Manufactured Home Estates	N/A	Not applicable to this PPR.
SEPP No. 44 - Koala Habitat Protection	N/A	Not applicable in the Camden LGA.
SEPP No. 50 - Canal Estates	N/A	Not applicable to this PPR.
SEPP No. 55 – Remediation of land	Yes	Phase 1 Contamination Report established risk at the site to be low.

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SEPP No. 64 - Advertising and Signage	N/A	Not applicable to this PPR.
SEPP No. 65 - Design Quality of Residential Flat Development	Yes	The PPR does not apply to zones where residential flat buildings are permissible.
SEPP No. 70 - Affordable Housing (Revised Schemes)	Yes	The PPR does not mitigate against the application of the SEPP.
SEPP (Affordable Rental Housing) 2009	Yes	The PPR will not contain provisions that will contradict or would hinder the application of the SEPP.
SEPP (Housing for Seniors or People with a Disability)	Yes	The PPR does not contain provisions that will contradict or would hinder a future application for SEPP (HSPD) housing.
SEPP (Building Sustainability Index: BASIX) 2004	Yes	The PPR will not contain provisions that will contradict or would hinder the application of the SEPP. Future development applications for dwellings will need to comply with this policy.
SEPP (Major Development) 2005	N/A	Not applicable to this PPR.
SEPP (Mining, Petroleum Production and Extractive Industries) 2007	Yes	This Planning Proposal does not contain provisions which would contradict or hinder the application of this SEPP.
SEPP (Infrastructure) 2007	Yes	Certain infrastructure required to service residential development would be permissible in accordance with this SEPP.

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SEPP (Exempt and Complying Development Codes) 2008	Yes	The PPR does not contain Provisions that will contradict or would hinder the Application of the SEPP at future stages, post rezoning.
SEPP (Concurrences) 2016	Yes	The PPR does not constrain the application of the Planning Strategy's Concurrence Function
SEPP (Miscellaneous Consent Provisions) 2007, Land Application	Yes	The application of the Miscellaneous Consent Provisions are not compromised by the PPR
SEPP (Primary Production and Rural Development) 2019 Land Application	N/A	The PPR does not apply to land deemed to be rural and/or devoted to primary production.
SEPP (Vegetation in Non-Rural Areas) 2017, Subject Land	Yes	Vegetation retention has been adequately addressed in the accompanying ecological report.
SEPP (Educational Establishments and Child Care Facilities) 2017, Land Application	Yes	The PPR does not compromise the application of the SEPP
Deemed State Environmental Planning Policies (Formerly Regional Environmental Plans)	Confidentiality	Comments
SREP No.9 - Extractive Industry (No 2)	N/A	Not applicable to this PPR
SREP No 20 - Hawkesbury-Nepean River (No 2 1997)	Yes	The general planning considerations and specific planning policies and strategies will be observed. Further, the relevant development controls will be addressed in future development.

Annexure “E”

Overview of Section 9.1 Directions (EP&A Act)

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Notes

The following Section 9.1 Directions have been deleted from the compliance table due to its revocation.

Direction 5.8 Second Sydney Airport Badgerys Creek.

It is also noted that the following Directions do not apply to the Camden Local Government Area.

3.7 Reduction in non-hosted short-term rental accommodation period

7.3 Paramatta Road Corridor Urban Transformation Strategy

7.4 Implementation of North West Priority Growth Area Land Use and Infrastructure Implementation Plan

7.5 Implementation of Greater Paramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan

7.6 Implementation of Wilton Priority Growth Area Interim Land Use and Infrastructure Implementation Plan

7.7 Implementation of Glenfield to Macarthur Urban Renewal Corridor

7.8 Implementation of Western Sydney Aerotropolis Interim Land Use and Infrastructure Implementation Plan

7.9 Implementation of Bayside West Precincts 2036 Plan

7.10 Implementation of Planning Principles for the Cooks Cove Precinct

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Ministerial Direction	Applicable to LEP	Consistency of LEP with Direction	Assessment
1. Employment and Resources			
1.1 Business and Industrial Zones	No	N/A	N/A
1.2 Rural Zones	No	N/A	N/A
1.3 Mining, Petroleum Production and Extractive Industries	No	Yes	The PPR does not propose the extraction of minerals specified.
1.4 Oyster Production	No	N/A	N/A
1.5 Rural Lands	No	N/A	N/A
2. Environment and Heritage			
2.1 Environmental Protection Zones	Yes	Yes	The site does not comprise environmentally sensitive lands (Refer to Annexure "G").
2.2 Coastal Protection	No	N/A	N/A
2.3 Heritage Conservation	Yes	Yes	The site is not listed or proximate to a heritage item or Conservation Area
2.4 Recreation Vehicle Area (RVA)	No	N/A	The PPR does not propose development of a RVA
3. Housing, Infrastructure and Urban Development			
3.1 Residential Zones	Yes	Yes	The proposal is entirely consistent in seeking to provide increased housing diversity, leveraging off an optimising use of infrastructure, whilst not impacting adversely environmental and resource lands.
3.2 Caravan Parks and Manufactured Home Estates	Yes	Yes	Caravan Parks are currently precluded in all proposed residential zones. Further, it is intended to prohibit them in the proposed R3 zone.

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3.3 Home Occupations	Yes	Yes	"Home occupations" are permissible without consent in all relevant zones.
3.4 Integrating Land Use and transport	Yes	Yes	The PPR seeks to increase the density of residential development in a location with access to reasonable public transport and services/facilities.
3.5 Development Near Licensed Aerodromes	Yes	Yes	The PPR does not compromise the operation of the Camden Airport.
3.6 Shooting Ranges	No	N/A	There are no licensed shooting ranges in the locality.
4. Hazard and Risk			
4.1 Acid Sulphate Soils	No	N/A	Land not known to exhibit acid sulphate qualities. Accordingly, the Direction does not apply.
4.2 Mine Subsidence and Unstable Land	Yes	Yes	The land is in the South Campbelltown Subsidence District and can be readily developed in accordance with standard subsidence parameters.
4.3 Flood Prone Land	Yes	Yes	The lands are not designated to be flood prone.
4.4 Planning for Bushfire Protection	Yes	Yes	The PPR is not impacted by fire prone land.
5. Regional Planning			
5.1 Implementation of Regional Strategies	No	N/A	Not applicable in the Camden LGA.
5.2 Sydney Drinking Water Catchments	No	N/A	Not applicable in the Camden LGA.
5.3 Farmland of State and Regional Significance on the NSW Far North Coast	No	N/A	Not applicable in the Camden LGA.
5.4 Commercial and Retail Development along the Pacific Highway, North Coast	No	N/A	Not applicable in the Camden LGA.
5.5 Development in the vicinity of Ellalong, Paxton and Milfield (Cessnock LGA)	No	N/A	Revoked.
5.6 Sydney to Canberra Corridor	No	N/A	Revoked.

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5.7 Central Coast	No	N/A	Revoked
5.9 North West Rail Link Corridor Strategy	No	N/A	Not applicable in the Camden LGA.
5.10 Implementation of Regional Plans	Yes	Yes	No relevant Regional Plan applies. The PPR is, however, consistent where relevant with the Greater Sydney Region Outline Plan and Western City District Plan.
5.11 Development of Aboriginal Land (Council land)	Yes	N/A	The subject land is not impacted.
Local Plan Making			
6.1 Approval and Referral Requirements	Yes	Yes	The proposal is consistent with this direction because it does not alter the provisions relating to approval and referral requirements.
6.2 Reserving Land for Public Purposes	Yes	Yes	The PPR does not propose any addition to public open space (or reduction).
6.3 Site Specific Provisions	Yes	Yes	No site specific requirements are proposed.
7. Metropolitan Planning			
7.1 Implementation of A Plan for Growing Sydney	Yes	Yes	Consistent – Seeks to increase housing supply and diversity at a local scale in a location which is generally consistent with the locational commentary of the Plan.
7.2 Implementation of Greater Macarthur Land Release Investigation	N/A	N/A	The land is not in the subject investigation area.

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Annexure “F”

Stage 1 – Preliminary Environmental Investigation


Attachment 2

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**STAGE 1 PRELIMINARY
ENVIRONMENTAL INVESTIGATION**



ADDRESS : 33 Morshead Rd Mt Annan NSW 2567
CLIENT : BJC Design
REPORT No. : NE255-18
DATE : 28 January 2018



GEOTESTA

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33 Morshead Rd Mt Annan - Environmental Assessment NE255-18

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REFERENCES

Appendix A – Aerial Photographs

Appendix B – Laboratory Test Results

33 Morshead Rd Mt Annan - Environmental Assessment

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EXECUTIVE SUMMARY

Geotesta was engaged by BJC Design Pty Ltd to conduct a Stage 1 Preliminary Investigation (Stage 1 PI) on the property known as 33 Morshead Rd Mt Annan, NSW. The Stage 1 PI is a review of current and historical activities on the site and an assessment of the potential risk of soil/groundwater contamination existing on the land.

In accordance with the Department of Urban Affairs and Planning and Environment Protection Authority Managing Land Contamination: Planning Guidelines, State Environmental Planning Policy No. 55—Remediation of Land 1998, the site is considered to have a Low Risk of soil and groundwater contamination.

The site is considered suitable for the proposed development and no further assessment work is considered necessary.

Based on the scope of works conducted the following conclusions can be made:

- the site history, desk study and inspection indicates past activities on the site have a very low potential for environmental impacts on the soil and groundwater; and
- in accordance with the Department of Urban Affairs and Planning and Environment Protection Authority Managing Land Contamination: Planning Guidelines, State Environmental Planning Policy No. 55—Remediation of Land 1998, no further investigations are required; and
- the site is suitable for the proposed use.

No further environmental investigation works are considered necessary (including a Stage 2 Detail Investigation).

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33 Morshead Rd Mt Annan - Environmental Assessment

NE255-18

1. INTRODUCTION

Geotesta was engaged by BJC Design Pty Ltd to conduct a Stage 1 Preliminary Investigation (stage 1 PI) on the property known as 33 Morshead Rd Mt Annan, NSW 2567. The Stage 1 PI is a review of current and historical activities on the site and an assessment of the potential risk of soil/groundwater contamination existing on the land.

The property covers an area of approximately 3,263 m² and is currently occupied with a single storey dwelling with grass and scarce tree cover. The site slopes from west to east.

Attachment 2

2. PLANNING GUIDELINES

It is understood that the land will be subdivided for the purpose of low density residential development. This Preliminary Investigation was conducted in general accordance with the Department of Urban Affairs and Planning and Environment Protection Authority *Managing Land Contamination: Planning Guidelines, State Environmental Planning Policy No. 55—Remediation of Land 1998*.

Land contamination is most often the result of past uses. It can arise from activities that took place on or adjacent to a site and be the result of improper chemical handling or disposal practices, or accidental spillages or leakages of chemicals during manufacturing or storage. Activities not directly related to the site may also cause contamination; for example, from diffuse sources such as polluted groundwater migrating under a site or dust settling out from industrial emissions.

When carrying out planning functions under the EP&A Act, a planning authority must consider the possibility that a previous land use has caused contamination of the site as well as the potential risk to health or the environment from that contamination. Decisions must then be made as to whether the land should be remediated, or its use of the land restricted, in order to reduce the risk. Failure to consider the possibility of contamination at appropriate stages of the planning decision process may result in:

- inappropriate land use decisions
- increased risk to human health
- detrimental effects on the biophysical environment
- impacts on the safety of existing and new structures
- delay in realising developments
- substantial fall in the land value and the passing on of unanticipated development costs to other parties

When an authority carries out a planning function, the history of land use needs to be considered as an indicator of potential contamination. Where there is no reason to suspect contamination after acting substantially in accordance with these Guidelines, the proposal may be processed in the usual way. However, where there is an indication that the land is, or may be, contaminated, the appropriate procedures outlined in these Guidelines should be followed.

Essentially, the Guidelines recommend that rezonings, development control plans and development applications (DAs) are backed up by information demonstrating that the land is suitable for the proposed use or can be made suitable, either by remediation or by the way the land is used.

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33 Morshead Rd Mt Annan - Environmental Assessment

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3. OBJECTIVES AND SCOPE

The objective of the work is to comply with the Department of Urban Affairs and Planning and Environment Protection Authority *Managing Land Contamination: Planning Guidelines, State Environmental Planning Policy No. 55—Remediation of Land 1998* and gain a better understanding of the environmental risks associated with the site by conducting a Stage 1 PI.

The Stage 1 PI was conducted in general accordance and consideration of the Planning Guidelines and the Australian Standard AS 4482.1-2005 Guide to the sampling and investigation of potentially contaminated soil - Part 1: Non volatile and semi-volatile compounds, the Australian Standard AS 4482.2-1999 Guide to the sampling and investigation of potentially contaminated soil - Part 2: Volatile substances, the National Environment Protection (Assessment of Site Contamination) Measure (NEPM) 1999 (amended 2013), and other relevant NSW guidelines and legislation. The Stage 1 PI consisted of a desktop historical review. The works included the following:

- site inspection;
- aerial photograph, public record search;
- geological review
- review of available environmental and planning reports in the area; and
- production of this report including recommendations and associated environmental risk.

Activities undertaken to achieve the above objectives are reported and discussed in the following sections.

33 Morshead Rd Mt Annan - Environmental Assessment

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4. SITE DESCRIPTIONS

4.1. Site Details

The site under investigation is located to the west of Morshead Road, approximately 7.5km northwest of Campbelltown and 59km southwest of Sydney. The site is currently covered by one title.

Street address: 33 Morshead Rd

Coordinates: Latitude: -34.046739, Longitude: 150.754182

Suburb: Mt Annan 2567

State: NSW

Council: Cmaden Council

Folio: 71/702819

Total Surface area: (approximately) 3,263 m²

4.2. Site, Surrounding Area and Topography

The site is a residential property with scarce trees and grass cover. There was no sign of intensive agriculture, such as market gardens; there were no stockyards of livestock dipping facilities on the property. There was no indication on the site of imported filling or major earthworks. A separate investigation was conducted by Geotesta for salinity assessment consisting of 2 boreholes across the site and no fill material was encountered during this investigation.

The surrounding area consists of low density urban residential with no commercial or industrial activities observed. Warehouses are located to a few hundred metres to the north with commercial and entertainment activities. A kindergarten is located 500m to the southeast of the site.

The proposed site at 33 Morshead Rd Mt Annan slopes from west to east with an overall slope of 4.0%. The ground elevation ranges between RL106m and RL103m.

4.3. Site Geology

The geological origin of the soil profile was identified from our visual examination of the soil samples, geotechnical experience, and reference to geological maps of the area. The geological map of the area indicates that the site is underlain by siltstone, sandstone and shale of Wianamatta Group.

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33 Morshead Rd Mt Annan - Environmental Assessment

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5. SITE HISTORY

5.1. *Historical Background*

The area now known as Mount Annan was originally home to the Dharawal people, based in the Illawarra region, although the Western Sydney-based Darug people and the Southern Highlands-based Gandangara people were also known to have inhabited the greater Camden area. Very early relations with British settlers were cordial but as farmers started clearing and fencing the land, affecting food resources in the area. In 1805, wool pioneer John Macarthur was granted 5,000 acres (20 km²) at Cowpastures (now Camden). After the land was cleared, it was used for farming for most of the next 200 years until Sydney's suburban sprawl reached the town of Camden and modern suburbs like Mount Annan were subdivided into housing blocks. Between 1882 and 1962 Camden was connected to Campbelltown and Sydney by the Camden railway line. Camden is served by Camden Airport, which is mostly used by trainee pilots for flying schools, the Australian Air League, and other forms of general aviation.

5.2. *Satellite Photograph Review*

A review of satellite photographs was conducted on the site and the local area. The images indicate that the surrounding area was not developed for residential purpose at least until 1984. Most of land clearance seems to be occurring in early 1990s.

5.3. *EPA Records and other Reports*

The site is not on any contaminated registry held by the NSW EPA.

5.4. *Summary*

Based on the desk study assessment conducted most of the site can be considered as a greenfield site with the existing house as brownfield. There were no past activities identified on the site that may have impacted on the soil or groundwater on the site. There are no surrounding activities such as landfilling and intensive farming (piggery and poultry sheds), or mining that would impact on the site.

6. POTENTIAL FOR CONTAMINATION

The site can be considered to be mainly a green field site with a low potential for onsite sourced contamination. The surrounding activities do not have a potential to impact to site.

7. ACID SULFATE AND SALINITY ASSESSMENT

Reference to the EPA website indicates the site is unlikely to have acid sulfate potential with also low potential for salinity as shown in the maps below.

Acid Sulfate Map



Salinity Map



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33 Morshead Rd Mt Annan - Environmental Assessment

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8. DISCUSSION OF RESULTS

In accordance with the Department of Urban Affairs and Planning and Environment Protection Authority Managing Land Contamination: *Planning Guidelines, State Environmental Planning Policy No. 55—Remediation of Land 1998*, the site is considered to have a Low Risk of soil and groundwater contamination.

The site is considered suitable for the proposed development and no further assessment work is considered necessary.

9. CONCLUSIONS

Based on the scope of works conducted the following conclusions can be made:

- the site history, desk study and inspection indicates past activities on the site have a very low potential for environmental impacts on the soil and groundwater; and
- in accordance with the Department of Urban Affairs and Planning and Environment Protection Authority Managing Land Contamination: *Planning Guidelines, State Environmental Planning Policy No. 55—Remediation of Land 1998*, no further investigations are required; and
- the site is suitable for the proposed use.

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33 Morshead Rd Mt Annan - Environmental Assessment

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10. RECOMMENDATIONS

No further environmental investigation works are considered necessary (including a Stage 2 Detail Investigation).

Should you require any further information regarding this report, please do not hesitate to contact the undersigned.

For and on behalf of
GEOTESTA PTY LTD



Amir Farazmand
Senior Consultant

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References

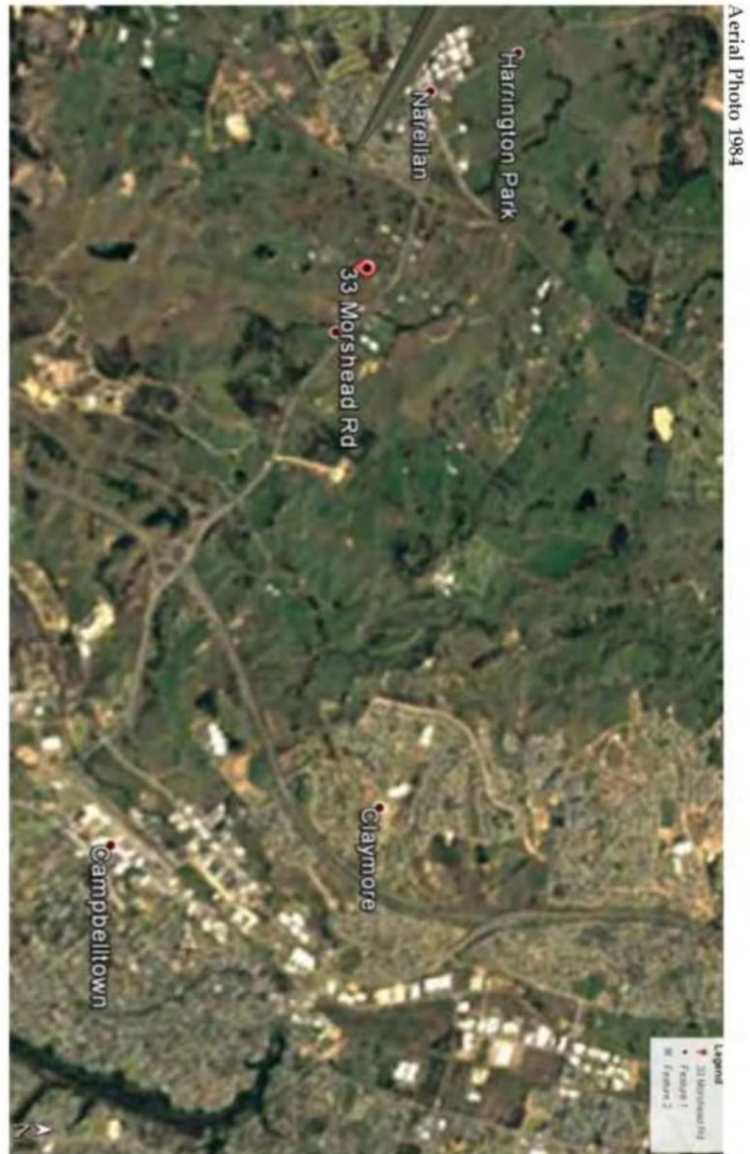
- Department of Urban Affairs and Planning and Environment Protection Authority Managing Land Contamination: *Planning Guidelines, State Environmental Planning Policy No. 55—Remediation of Land 1998*
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- NSW Environment Protection Authority, December 1994. Guidelines for Assessing Service Station Sites
- Standards Australia, 2005. Guide to the sampling and Investigation of Potentially Contaminated Soil, Part 1: Non-volatile and Semi-volatile compounds. AS 4482.1

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Appendix A
Aerial Photographs

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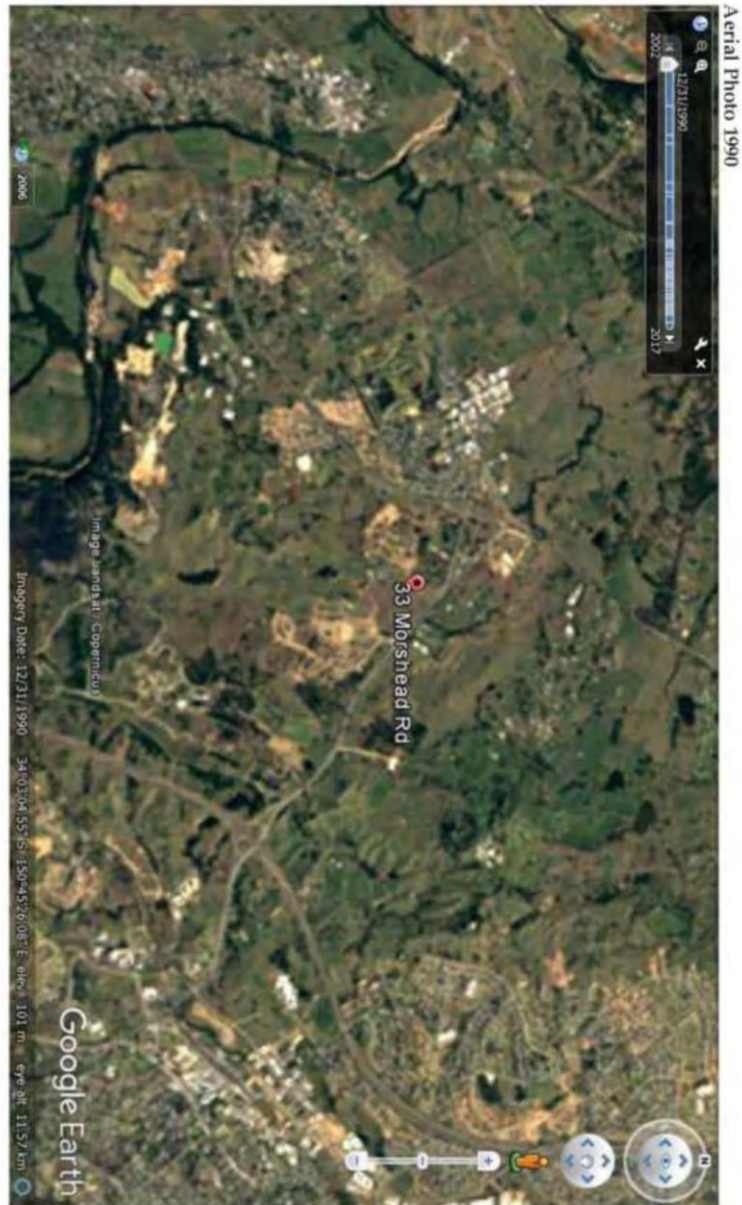
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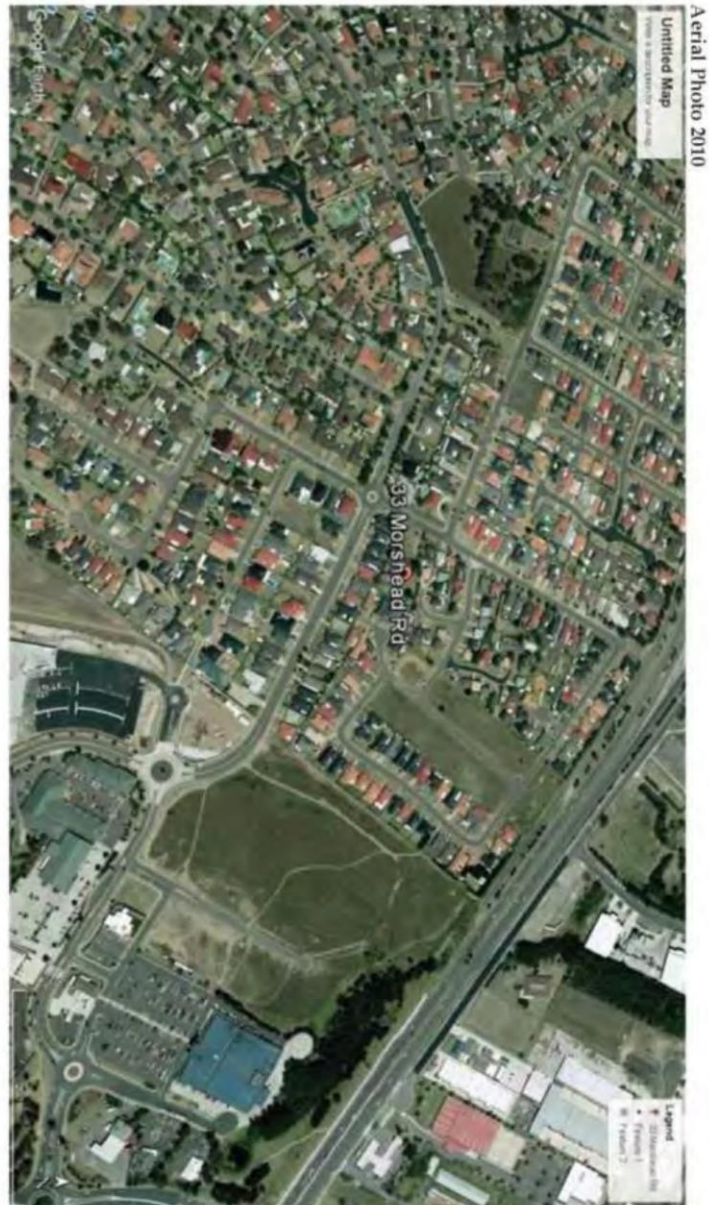
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33 Morshead Rd Mt Annan - Environmental Assessment

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Annexure "G"

Ecological Constraints Assessment

Attachment 2



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Ecological Constraints Assessment

33 Morshead Road, Mt Annan NSW

Report prepared by Narla Environmental Pty Ltd

for BJC Design Pty Ltd

June 2018



Attachment 2



Report:	Ecological Constraints Assessment
Prepared for:	B/C Design Pty Ltd
Prepared by:	Narla Environmental Pty Ltd
Project no:	bjcd1
Date:	June 2019
Version:	1.1

Narla Environmental Pty Ltd
www.narla.com.au



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Report Certification

Works for this report were undertaken by:

Staff Name	Position	Role
Kurtis Lindsay BSc (Hons)	Narla Environmental – Principal Ecologist	Project Management, Review
Nathan Banks BSc	Narla Environmental – Field Ecologist	Field Ecologist
Emily Benn BSc (Hons)	Narla Environmental – Ecologist	Report Preparation, Mapping
Dean Sugden BEnviro & Mngt	Narla Environmental – Ecologist	Report Preparation

As the Manager and Principal Ecologist of Narla Environmental Pty Ltd, I certify that:

- This Flora and Fauna Assessment has been prepared in accordance with the brief provided by the client.
- The information presented in this report is a true and accurate record of the study findings in the opinion of the authors.



Kurtis Lindsay
Principal Ecologist and Manager
Narla Environmental Pty Ltd
02 9986 1295
0414 314 859
kurtis.lindsay@narla.com.au



Ecological Constraints Assessment – 33 Morshead Road, Mount Annan NSW

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1. Introduction

1.1 Project Proposal

Narla Environmental Pty Ltd (Narla) was engaged by B/C Design Pty Ltd on behalf of the proponent to prepare an Ecological Constraints Assessment (ECA) for 33 Morshead Road, Mt Annan, NSW (the 'Subject Site') (Lot 71, DP702819) (**Figure 1**).

The proponent intends to utilise the Subject Site for subdivision and further residential development and are interested in establishing how much of the property they can utilise.

Narla have produced this report in order to identify any potential ecological impacts associated with the development of the site, and recommend appropriate measures to mitigate any potential ecological impacts in line with the requirements of the consent authority, Camden Council.

The main purpose of this Ecological Constraints Assessment was to determine the presence of any threatened fauna, flora or ecological community on the Subject Site that are listed under the Biodiversity Conservation Act 2016 (BC Act) or the Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act).

1.2 Site Description and Location

The area of the Subject Site is 3,292 m² (approximately 0.33 ha) and is bordered by Morshead Road on the western boundary, and residential properties on all other surrounding borders (**Figure 1**). The site is located within an urban environment in Mt Annan, NSW. The surrounding blocks of land adjoining the Subject Site comprise of medium and low density residential development.

1.1 Topography, geology and soils

The Subject Site is situated on the Blacktown Soil Landscape, which is characterised by gently undulating rises on Wianamatta Group shales. Local relief to 30 m; slopes usually >5%. Broad rounded crests and ridges with gently inclined slopes. Cleared Eucalypt woodland and tall open-forest (dry sclerophyll forest).

The underlying geology of the Blacktown Soil Landscape consists of shales from the Wianamatta Group—Ashfield Shale consisting of laminite and dark grey siltstone, Bringelly Shale which consists of shale with occasional calcareous claystone, laminite and infrequent coal, and Winchbury Sandstone consisting of fine to medium-grained quartz lithic sandstone.

Soils are generally shallow to moderately deep (>100 cm) hardsetting mottled texture contrast soils; red and brown podzolic soils on crests grading to yellow podzolic soils on lower slopes and in drainage lines (Chapman and Murphy 1989).



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Figure 1. Location of the Subject Site at 33 Morshead Road, Mount Annan NSW

1.2 Camden Local Environmental Plan 2010

1.2.1 Preservation of Trees or Vegetation

The objective of this clause is to preserve the amenity of the area, including biodiversity values, through the preservation of trees and other vegetation.

This clause applies to species or kinds of trees or other vegetation that are prescribed for the purposes of this clause by a development control plan made by the Council.

Note. A development control plan may prescribe the trees or other vegetation to which this clause applies by reference to species, size, location or other manner.

A person must not ringbark, cut down, top, lop, remove, injure or wilfully destroy any tree or other vegetation to which any such development control plan applies without the authority conferred by:

- development consent, or
- a permit granted by the Council.

The refusal by the Council to grant a permit to a person who has duly applied for the grant of the permit is taken for the purposes of the Act to be a refusal by the Council to grant consent for the carrying out of the activity for which a permit was sought.

This clause does not apply to a tree or other vegetation that the Council is satisfied is dying or dead and is not required as the habitat of native fauna.

This clause does not apply to a tree or other vegetation that the Council is satisfied is a risk to human life or property.

A permit under this clause cannot allow any ringbarking, cutting down, topping, lopping, removal, injuring or destruction of a tree or other vegetation:

- that is or forms part of a heritage item or that is within a heritage conservation area, or
- that is or forms part of an Aboriginal object or that is within an Aboriginal place of heritage significance, unless the Council is satisfied that the proposed activity:
 - is of a minor nature or is for the maintenance of the heritage item, Aboriginal object, Aboriginal place of heritage significance or heritage conservation area, and
 - would not adversely affect the heritage significance of the heritage item, Aboriginal object, Aboriginal place of heritage significance or heritage conservation area.

Note. As a consequence of this subclause, the activities concerned will require development consent. The heritage provisions of clause 5.10 will be applicable to any such consent.

This clause does not apply to or in respect of:

- the clearing of native vegetation:
 - that is authorised by a development consent or property vegetation plan under the Native Vegetation Act 2003, or
 - that is otherwise permitted under Division 2 or 3 of Part 3 of that Act, or
- the clearing of vegetation on State protected land (within the meaning of clause 4 of Schedule 3 to the Native Vegetation Act 2003) that is authorised by a development consent under the provisions of the Native Vegetation Conservation Act 1997 as continued in force by that clause, or
- trees or other vegetation within a State forest, or land reserved from sale as a timber or forest reserve under the Forestry Act 1916, or

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- action required or authorised to be done by or under the Electricity Supply Act 1995, the Road Act 1993 or the Surveying and Spatial Information Act 2002, or
- plants declared to be noxious weeds under the Noxious Weeds Act 1993.

1.2.2 Zoning

The Subject Site is zoned 'R2 – Low Density Residential'. The Camden Local Environmental Plan (2010) requires that development satisfies the objectives of the LEP in relation to the designated zoning. These include:

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To allow for educational, recreational, community and religious activities that support the wellbeing of the community.
- To minimise conflict between land uses within the zone and land uses within adjoining zones.
- To ensure the single dwelling character, landscaped character, neighbourhood character and streetscapes of the zone are maintained over time and not diminished by the cumulative impact of multi dwelling housing or seniors housing.

The Subject Site does not hold any of the following constraints that are relevant to this ECA report including:

- Bushfire Prone Land;
- Riparian or Watercourses;
- Terrestrial Biodiversity; or,
- Vegetation Protection.

1.2.3 Camden Development Control Plan (2011)

Clause 2 'General Subdivision Requirements' of Part C of the Camden DCP (2010) outlines a number of objectives relevant to subdivision in the Camden Local Government Area (LGA). These include:

- Manage subdivision throughout the Camden LGA to ensure sense of place is maintained by ensuring that development density and scale are in harmony with the existing or planned character of places.
- Ensure equitable and easy access by everyone to all facilities, services and infrastructure in our community.
- Encourage variety in dwelling size and design to promote housing choice.
- Ensure minimal adverse impacts on environmental systems.
- Mitigate any access and traffic impacts and reinforces vehicle and pedestrian safety.
- Consider any building and/or land of heritage significance being present on or adjacent to the site.
- The layout of typical cross sections within the DCP prevails over other guides and specifications

Controls that apply to subdivision and development in the Camden LGA as outlined by the Camden DCP (2010) include:

- Any proposed subdivision must demonstrate how the proposed subdivision design has addressed the following as discussed throughout this DCP:
 - site planning
 - natural environment management
 - water management
 - land management
 - environmental heritage



- a access and parking;
- b acoustic amenity;
- c infrastructure and services;
- d any other relevant parts of this DCP.

1.3 Relevant Legislation and Policy

The following summary of relevant legislation and policy will likely need to be addressed as part of the DA.

Table 1. Relevant legislation and policy addressed in this report

Legislation/ Policy	Relevant Ecological Feature on Site	Triggered	Action Required
Environmental Planning and Assessment Act 1979 (EP&A Act)	All features	Yes	An Ecological Impact Assessment Report and all subsequent recommendations relevant to the DA (The planning process).
Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act)	No EPBC listed species were observed on the subject site. Suitable habitat for several EPBC Act (Commonwealth) threatened fauna and flora species is present.	Yes	An assessment of significance of impact from the proposed DA on Matters of National Environmental Significance (MNES) EPBC Act Assessment of Significant Impact Criteria
Biodiversity Conservation Act 2016 (BC Act)	No BC Act listed species were observed on the subject site. Suitable habitat for a small number of BC Act (NSW) listed threatened fauna and flora species is present.	Yes	Establish whether the proposed works will remove over 0.5 ha of native vegetation. Undertake a test of significance of impact from the proposed DA on potentially occurring threatened fauna.
Biosecurity Act 2015 (Bio Act)	Priority weeds identified on site (Weedwise2017). <ul style="list-style-type: none"> • <i>Asparagus ashioticus</i>; • <i>Olea europaea</i> subsp. <i>cuspidata</i>; and, • <i>Lythrum tetodesmum</i>. 	Yes	Prohibition on dealings: Must not be imported into the State or sold. Regional Recommended Measure ² : The plant or parts of the plant are not traded, carried, grown or released into the environment
SEPP Native Vegetation 2017	The subject site is located in Camden, an LGA to which this SEPP applies.	Yes	Further assessment of potential impacts and clearing of native vegetation.
State Environmental Planning Policy No 19 - Bushland in Urban Areas (SEPP 19)	The Subject Site does not directly border any Council Bushland or Reserves.	No	None
State Environmental Planning Policy No. 44 – Koala Habitat Protection (SEPP 44)	This SEPP does apply to the Camden Local Government Area; however, the Subject Site is <1ha in size. Therefore, this SEPP does not apply to the proposed development. One Schedule 2 Feed Tree (<i>Eucalyptus microcarpa</i>) is situated within the subject site.	No	None

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1.4 Scope of assessment

The objectives of this report were to assess all possible ecological constraints within the Subject Site that may arise pursuant to Part 3 (Rezoning) and Part 4 (Development Assessment) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and the local planning provisions of Camden Council, including to:

- Establish the likelihood of occurrence of migratory species, threatened species, endangered populations and threatened ecological communities as listed under the *New South Wales Biodiversity Conservation Act 2016* (BC Act) and/or the *Commonwealth Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) within the Subject Site.
- Identify and map the distribution of vegetation communities in the subject area and discuss patch size and condition.
- Record presence and the extent of any priority weeds.
- Determine ecological impacts or risks that may result due to the proposed development(s).
- Recommend any controls or additional actions to be taken to see the proposed DA through while protecting or improving ecological / biodiversity values of the Subject Site.



Ecological Constraints Assessment – 33 Morshead Road, Mount Annan NSW

2. Methodology

2.1 Desktop Assessment and Literature Review

A thorough literature review of local information relevant to the Camden Local Government Area (LGA) was undertaken. Online databases were utilised to gain an understanding of the site and its surrounds to an area of approximately 10km². Searches utilising NSW Wildlife Atlas (Bionet) (CEH 2017b) and the Commonwealth Protected Matters Search Tool (PMST 2017) were conducted to identify any confirmed, historical local occurrences or modelled occurrence of threatened species, populations and communities as well as any migratory fauna within a 10km² search area centred on the Subject Site. This data was used to assist in establishing the presence or likelihood of any such ecological values as occurring on or adjacent the Subject Site, and helped inform our Ecologist on what to look for during the site assessment.

Soil landscape and geological mapping was examined to gain an understanding of the environment on the Subject Site and assist in determining whether any threatened flora or ecological communities may occur there.

The Native Vegetation of the Sydney Metropolitan Area (CEH 2013) was utilised during desktop assessment to gain an understanding of vegetation communities located on the property as well as in the local vicinity.

2.2 Ecological Site Assessment

A site assessment was undertaken by Nara Environmental Ecologist Nathan Banks on Wednesday 3rd of January 2018. The following processes were performed during the site assessment:

- Recording the identification and extent of vegetation communities on the Subject Site, with a particular focus on the presence of any endangered ecological communities (EEC)
- Recording a detailed list of flora species encountered on the Subject Site, with a focus on indigenous species including threatened species, species diagnostic of threatened ecological communities and priority weeds.
- Recording opportunistic sightings of any fauna species seen or heard on or immediately surrounding the Subject Site
- Assessment of the connectivity and quality of the vegetation within the Subject Site and surrounding area
- Identifying and recording the locations of notable fauna habitat such as important nesting, roosting or foraging microhabitats.
- Targeting the habitat of any threatened and regionally significant fauna including:
 - Tree hollows (habitat for threatened large forest owls, parrots, cockatoos and arboreal mammals)
 - Caves and crevices (habitat for threatened reptiles, small terrestrial mammals and microbats)
 - Termite mounds (habitat for threatened reptiles and the echidna)
 - Soaks (habitat for threatened frogs and dragonflies)
 - Wetlands (habitat for threatened fish, frogs and water birds)
 - Drainage lines (habitat for threatened fish and frogs)
 - Fruiting trees (food for threatened frugivorous birds and mammals)
 - Flowering trees (food for threatened nectarivorous mammals and birds)
 - Trees and shrubs supporting nest structures (habitat for threatened birds and arboreal mammals), and
 - Any other habitat features that may support fauna (particularly threatened) species.

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Not all exotic and non-native indigenous plants (native cultivars) were identified within the domestic garden beds throughout the site. Flora surveys were focused on remnant vegetation particularly shrubs and herbs, trees native to the area. Focus was also given to identifying significant weed infestation and Priority Weeds.

2.3 Study Limitations

This study was undertaken to provide a broad identification of all relevant constraints to any future development within the Subject Site. This study was not meant to provide a complete inventory of all species with potential to occur on the Subject Site; rather it was to provide an assessment into the likelihood of the presence of any significant ecological features (migratory species, threatened species, communities and populations) on the Subject Site, and the potential for impact of the proposed works on those ecological features.

The species inventory provided for the site was restricted to what was observed during the single day field visit by the NARLA Ecologist on 3rd of January 2018. The timing of the survey may not have coincided with emergence times of some species of flora and fauna, such as seasonally flowering ground orchids, seasonal migratory fauna or nocturnal fauna.

To account for those species that could not be identified during the field survey, detailed habitat assessments were combined with desktop research and local ecological knowledge to establish an accurate prediction of the potential for such species to occur on or adjacent the Subject Site.

In situations where the habitat on or around the Subject Site was deemed potentially suitable for certain species that could not have been surveyed for during the field assessment, the precautionary principle was applied and those species were assumed present.

This study is not an Ecological Impact Assessment; however, it may form the basis for an Ecological Impact Assessment to be compiled.

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3. Results and Discussion

3.1 Flora

A total of 60 plant species identified within the Subject Site, of which 17 were native, and 43 were exotic/non-native (**Appendix Table 6**). Nomenclature follows PlantNet (2016).

3.1.1 Threatened Flora Species

Desktop analysis revealed one threatened flora species, *Pimelea spicata* (Spiked-Rice Flower), as having the potential to occur on or within 10 km radius of the Subject Site.

Despite a thorough targeted search using the random meander method, no individual specimens of Spiked-Rice Flower were observed. However, this does not rule out the potential for some threatened species to still exist on the Subject Site in a state of dormancy within the soil seed bank in the Subject Site. However, the chances of this are considered low owing to the isolated and historically disturbed condition of the site.

3.1.2 Weeds

Of all the exotic plant species identified within the Subject Site, three are currently classified as Priority Weeds within the Camden LGA. These weeds must be managed in accordance with the Biosecurity Act 2015. These species include *Asparagus aethiopicus* (Ground Asparagus), *Olea europaea subsp. cuspidata* (African Olive) and *Lythrum ferocissimum* (African Boxthorn).

All priority weeds listed above with the exception of African Olive are listed as Weeds of National Significance (WoNS) (Weedwise, 2017). It is a requirement of all landowners and managers to ensure that the listed plants do not continue to spread and that the plants must not be sold, propagated or knowingly distributed.

Table 2. Control methodologies for priority weeds identified on the Subject Site

Scientific Name	Common Name	Control Methodology
<i>Asparagus aethiopicus</i>	Ground Asparagus	Manual Removal: Plants can be controlled by crowning – the practice of digging out the entire crown or corm (by severing the tough surrounding roots) that sits just below the surface of the soil and leaving the roots and watery tubers in situ.
<i>Olea europaea subsp. cuspidata</i>	African Olive	This plant can be controlled by cut and paint methodology. The main stem should be cut 15cm above the ground surface and then a herbicide solution (1 part Glyphosate per 1.5 parts of water) should be generously applied to the cut stump with a paintbrush.
<i>Lythrum ferocissimum</i>	African Boxthorn	This plant can be controlled by cut and paint methodology. The main stem should be cut 15cm above the ground surface and then a herbicide solution (1 part Glyphosate per 1.5 parts of water) should be generously applied to the cut stump with a paintbrush.

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3.2 Vegetation Communities

At the time of ecological assessment, there were no vegetation communities mapped within the subject site. The closest mapped vegetation community to the subject site was Alluvial Woodland, which occurred in two small patches approximately 450m East of the subject site (OEH 2016b).

Ecological site assessment by the Nara Ecologist revealed that vegetation within the Subject Site comprised a majority of exotic garden beds and exotic fruit trees, with a number of native grasses and herbs amongst one locally indigenous native canopy species *Corymbia maculata* (Spotted Gum).

It is likely that the remnant Spotted Gum located in the centre of the property is remnant of Cumberland Plain Woodland (CPW) which is listed as an Endangered Ecological Community (EEC) under the BC Act (Plate 1). Within the subject site CPW is represented only by the single Spotted Gum.

Other areas within the subject site contained a native groundcover of herbs and grasses but lacked a distinct native canopy. Such areas were confirmed to be representative of CPW Derived Native Grassland (DNG), as classified under the CPW Final Determination (OEH 2009) (Plate 2). Dominant native grasses found within the CPW and DNG included *Dichelachne micrantha*, *Themeda australis*, *Austrodanthonia tenax*. Scattered herbs including *Eriodia lutea*, *Wahlenbergia gracilis* and *Tricorype elatior* were also found within the subject site.

The extent of the two potential Cumberland Plain Woodland EEC's identified within the Subject Site are comprised of a single Spotted Gum tree and a small patch of native groundcovers. The removal of these vegetation assemblages is considered a minor constraint to the proposed rezoning and development within the Subject Site. The subject site is highly isolated and is not considered to have a vegetation assemblage which is considered significant in the locality. An 'Assessment of Significance' will be required to accompany a Flora and Fauna Impact Assessment Report Rara pursuant of the rezoning and DA, which will outline the minor significance in removing the single Spotted Gum tree and small patch of native grassland within the Subject Site and provide specific recommendations to minimise this impact. These impacts would be expected to include replacement planting within soft landscaping areas within the Subject Site.

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Figure 2. Historical Vegetation Mapping within close proximity to the subject site (OEH 2016b)

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Plate 1. Remnant *Corymbia maculata* (Spotted Gum) within the subject site, which forms part of the Cumberland Plain Woodland EEC.

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Plate 2. Derived Native Grassland (DNG) within the subject site



Plate 3. Example of escaped garden ornaments within the subject site.

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Figure 3. Cumberland Plain Woodland and Derived Native Grassland mapped within the Subject Site by Narla Environmental.

3.1 Fauna

A total of eleven (11) fauna species were encountered on the day of the field survey (Table 3). All native species encountered are listed as 'protected' under the NSW Biodiversity Conservation Act 2016. None were listed threatened under either the BC Act or EPBC Act. One introduced species, *Passer domesticus* (House Sparrow) was encountered during the site assessment.

The list of fauna recorded during the site visit was produced opportunistically and thus only represented a subset of the fauna species that may occur on the Subject Site at any one time. For this reason, a thorough assessment of fauna habitat availability was conducted as a priority during the site visit. This provided a better understanding of the fauna species that may potentially occur on the Subject Site during some part of their lifecycle.

Table 3. List of fauna species identified during the site visit on 3rd January 2018

Class	Scientific Name	Common Name	Status
Aves	<i>Anthochaera carunculata</i>	Red Wattlebird	Protected
Aves	<i>Corvus coronoides</i>	Australian Raven	Protected
Aves	<i>Dacelo novaeguineae</i>	Laughing Kookabura	Protected
Aves	<i>Gymnorhina tibicen</i>	Australian Magpie	Protected
Aves	<i>Hirundo neoxena</i>	Welcome Swallow	Protected
Aves	<i>Manorina melanoccephala</i>	Halsy Miner	Protected
Aves	<i>Passer domesticus</i>	House Sparrow	Introduced
Aves	<i>Strepera graculina</i>	Pied Currawong	Protected
Aves	<i>Trichoglossus moluccanus</i>	Rainbow Lorikeet	Protected
Aves	<i>Turdus merula</i>	European Blackbird	Introduced
Gastropoda	<i>Corvus aspersum</i>	Garden Snail	Introduced
Reptilia	<i>Eulamprus quoyii</i>	Eastern Water Skink	Protected

3.1.1 Fauna Habitat

Whilst the Subject Site provided some potential foraging, nesting and roosting habitat for a suite of fauna, much of the subject site was weed infested with a majority of the property containing manicured exotic grasses. To this extent, the subject site was considered to hold sub-optimal fauna habitat, owing to the historical disturbance and clearing of the property for development and domestic garden beds.

The most significant fauna habitat feature within the Subject Site were the three Eucalypts, including one *Corymbia maculata* (Spotted Gum), one *Eucalyptus microcarpa* (Tallowwood) and one *Eucalyptus elata* (River Peppermint) that provide foraging habitat for a number of threatened nectarivorous birds. When in flower, native *Eucalyptus microcarpa*, *Corymbia maculata* and *Eucalyptus elata* are likely to provide foraging resources for nectarivorous birds and flying-foxes such as the threatened vulnerable *Pteropus poliocephalus* (Grey-Headed Flying Fox). All of the canopy trees on the Subject Site have potential to contain 'lepid', leaf-psyllid insects that exude a sugary coating that is often consumed by nectarivorous birds.

There were no tree hollows observed within trees located on the subject site, nor was there any bushrock or crevices suitable for fauna habitat.

3.1.2 Threatened Fauna Species

Following Desktop and Site Ecological Assessment, a list of six (6) threatened fauna species were identified as having the potential to utilise habitat on and around the Subject Site for foraging or sheltering purposes. The total list of threatened species deemed as having potential to occur in the subject site is presented (Table 4).

Table 4. Threatened fauna deemed as having potential to occur on the subject site during part of their lifecycles

Species	EC Act	EPBC Act	Likelihood	Potential Habitat Utilised
<i>Pteropus poliocephalus</i> (Grey-headed flying fox)	Vulnerable	Vulnerable	High	Flowering and fruiting trees and shrubs for foraging. No roosting.
<i>Glossopsitta pusilla</i> (Little Lorikeet)	Vulnerable	-	Low - Moderate	Flowering trees for foraging.
<i>Anthochaera Phryla</i> (Regent Honeyeater)	Critically Endangered	Critically Endangered	Low	Flowering trees for foraging.
<i>Lathamus discolor</i> (Swift Parrot)	Endangered	Critically Endangered	Low	Flowering trees for foraging.
<i>Daphoenositta chrysops</i> (Varied Sittella)	Vulnerable	-	Low	Rough-barked trees for foraging and nesting.
<i>Meridolum carneorum</i> (Cumberland Land Snail)	Endangered	-	Low	Limited bark and leaf litter at the base of canopy trees such as Spotted Gum, Tallowwood and River Peppermint.

A Flora and Fauna Impact Assessment Report will be required to assess the potential for the proposed development to have any significant effect on any of the potentially occurring threatened fauna under the relevant Commonwealth 'EPBC Act Significant Guidelines' and State (Section 5AA of the EP&A Act) 'Assessment of Significance'. This report should be submitted as part of an application for any clearing of native vegetation of the Subject Site.

The extent of threatened fauna habitat within the Subject Site includes three (3) flowering trees. The removal of such habitat is considered a minor constraint to the proposed rezoning and development of the Subject Site. It is likely that these three trees provide suboptimal, intermittent habitat for the threatened species mentioned above. An 'Assessment of Significance' will be required to accompany a Flora and Fauna Impact Assessment Report pursuant of the rezoning and DA, which will outline the low significance of removing intermittent suboptimal threatened species habitat and provide specific recommendations to minimise this impact. Impact mitigation recommendations are likely to include revegetation with habitat trees similar to those being cleared, within soft landscaping areas around the Subject Site.

3.1.3 Grey Headed Flying Fox Camps in the Camden LGA

Camden is home to one grey-headed flying-fox camp, which is located in Brownlow Hill.

4. Recommendations

Narla Environmental have extensive experience with similar rezoning and development applications in the Camden LGA and believe that the proposed application will have an increased likelihood of approval if the recommendations and mitigation measures outlined within this report are addressed and adhered to.

4.1 Development Application Phase

Narla propose the following recommendations regarding the management of biodiversity on the property. Implementation of these recommendations will help see the rezoning and development application proposed for the Subject Site approved by Camden Council.

4.1.1 Avoidance of Impacts

Minimising the removal of native vegetation will reduce the overall impact of the proposed development and improve likelihood of obtaining rezoning and DA approval. Where possible, mature native trees should be retained and protected. However, in the case that native vegetation including the mature native trees are required for removal, replacement planting can be undertaken in soft landscaping areas around the proposed development to offset this small impact.

4.1.2 Clearing of Trees and Vegetation

If DA is lodged prior to 24th November 2018

Should the proponent desire to remove any native trees or undertake clearing within the areas mapped as containing remnant canopy trees belonging to Cumberland Plain Woodland, it is considered likely that Camden Council will require the proponent to submit a Flora and Fauna (Ecological) Impact Assessment including Assessments of Significance on all potentially occurring threatened species under the Biodiversity Conservation Act 2016. This report should be delivered by a suitably qualified Ecologist.

If DA is lodged post 24th November 2018

The requirements of the BC Act 2016 and Biodiversity Conservation Regulation 2017 are mandatory for all development applications submitted after the 24th November 2018 within the Camden LGA. This new legislation and regulation stipulates clearing 'area threshold' values that determine whether a development is required to be assessed in accordance with the 'Biodiversity Offset Scheme' (BOS). Minimum entry thresholds for vegetation clearing depend on the minimum lot size (shown in the Lot Size Maps made under the relevant Local Environmental Plan (LEP)), or actual lot size (where there is no minimum lot size provided for the relevant land under the LEP).

Table 5. Biodiversity Offset Scheme Entry Thresholds

Minimum lot size associated with the property	Threshold for clearing, above which the BOS and offsets scheme apply
Less than 1 ha	0.25 ha or more
1 ha to less than 40 ha	0.5 ha or more
40 ha to less than 1000 ha	1 ha or more
1000 ha or more	2 ha or more

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If vegetation clearing exceeds the minimum threshold, the BOC applies to the proposed development including biodiversity impacts prescribed by clause 6.1 of the Biodiversity Regulation 2017. In this instance the proponent will be required to prepare a Biodiversity Development Assessment Report (BDAR) to assess impact and calculate the required offsets to continue to DA approval.

The vegetation mapped as CPW and DNG by the Nara Ecologist (**Figure 3**) makes up a total area of approximately 78.8m² (0.0078ha). The vegetation within these areas is considered to hold moderately to highly quality DNG, whilst the CPW consists of only the canopy stratum for this community, which in this instance is one Spotted Gum (**Figure 3**).

Since less than 0.25 ha of native vegetation will be cleared to allow for the proposed development, the proponent will not be required to enter the BOC. No offset credits are expected to offset impacts from the vegetation loss. Instead, it is considered likely that proponent will be granted rezoning and DA approval following submission of an Assessment of Significance only.

4.1.3 Tree Removal and Replacement Plantings

Camden Council may require the proponent to retain the Spotted Gum and design a development that does not impact it. However, this tree is highly isolated and does not provide significant habitat for threatened fauna within the locality. If this tree is required for removal, Camden Council will most likely require replacement plantings of at least two new Spotted Gum trees or a tree species of a greater ecological value (e.g. 45L advanced stock) to replace the individual removed. These should be planted within the property bounds or on the properties road verge.

It is also expected that council will wish to see landscaping made up of at least 50% - 80% plant species native to CPW EEC, such as *Thermesia australis*, *Dichondra repens* and *Eragrostis nutans*. An experienced Ecologist and local provenance nursery will be able to provide advice on where to source replacement plants to meet the requirements of council.

4.2 Post Development Application Approval

Once the development application has been approved, Camden council will issue with a set of "Conditions" of approval of your DA. All Conditions of Approval will be required to be implemented prior to obtaining your construction certificate.

Conditions are likely to include the requirement to implement the recommendations put forward in the Ecological Impact Assessment Report.

4.2.1 Pre-Clearing Assessment

Owing to the possibility of trees supporting nesting birds, and hollow bearing trees potentially supporting threatened arboreal mammals, birds and Microbats, Camden Council may request a Pre-Clearing Assessment of the property undertaken by a qualified ecologist within the proposed area of impact. The assessment will involve checking of all:

- trees, shrubbery and tussocks for nesting native birds
- all logs and other debris thoroughly checked for sheltering reptiles or small mammals
- all other habitat features

4.2.2 Vegetation Clearing

Camden Council may require that a qualified ecologist is present on site during vegetation clearing to supervise felling of all trees. Each tree should be felled using the 'slow drop technique' which involves the use of ropes and pulleys, or an excavator fitted with a 'grab' attachment which can slowly push the trees to the ground.



Once trees have been felled an ecologist should be on site to inspect the tree for any potential hollows and fauna. Any fauna captured must be relocated offsite into suitable habitat, or taken by the ecologist to a registered wildlife carer.

All proposed construction, machinery operation, excavation, vehicle movement and other works that occur on the Subject Site must be prevented from impacting on any hollow-bearing trees, logs/woody debris, and other native vegetation that are to be retained outside the activity footprint.

4.2.3 Demolition of Existing Structure

Microbats often utilise man-made structures including sheds and houses for roosting habitat. Small cavities that provide similar protection to tree hollows will be utilised by microbats where shortages of natural roosting habitat exists, or may even be used in preference (ABS 2017).

Owing to the potential roosting habitat within any existing unoccupied dwellings, Camden Council may request that certain crevices and cavities of the building are inspected by an Ecologist for roosting microbats, prior to demolition taking place. If microbats are found, they will be captured and relocated to suitable nearby habitat by the Ecologist.

4.2.4 Tree Protection

The protection of existing trees desired to be retained on site or immediately surrounding the site should be undertaken prior to clearing, ancillary works, excavation or machinery works. Protection must remain around trees for the entire duration of construction, ancillary works, excavation or machinery works.

4.2.5 Erosion Management

Ensure that adequate erosion and sediment mitigation measures are in place at all times during construction activity. Refer to the 'Blue Book' (Landon 2004) for best practice erosion and sedimentation control methods.

4.2.6 Storage, Stockpiling and Laydown Areas

Position all storage, stockpiling and laydown areas away from any areas of native vegetation.

5. Conclusion

Subject to the recommendations of this Ecological Constraints Assessment and all relevant controls in the Camden Council DCP 2011 outlined in this report, it is considered that the clearing of vegetation and preparation of the subject site for rezoning and development could be achieved.

Threatened fauna habitat and potential Endangered Ecological Communities within the Subject Site is mostly comprised of a single Spotted Gum Tree and a small patch of native grassland. This vegetation is considered a minor constraint to the rezoning and development of the Subject Site due to it being highly isolated and situated within a highly urbanised environment. The removal of such would not cause a significant impact on threatened fauna or EEC's within the locality. To reduce the impact of this native vegetation clearing it is likely that the proponent will be required to conduct replacement planting for the native species removed to retain the biodiversity value of the Subject Site.

Narla Environmental support the future subdivision and/or development of this site.

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Attachment 2

6. References

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7. Appendix

Table 4. Flora species identified on the subject site during the site assessment conducted by Narla Environmental on 3rd January 2017

Scientific Name	Exotic/Non-indigenous	Canopy	Mid Strata	Groundcover
<i>Acacia parramattensis</i>			x	
<i>Agave americana</i>	x			x
<i>Aloe vera</i>	x		x	
<i>Araujia sericifera</i>	x			x
<i>Asparagus aethiopicus</i>	x			x
<i>Austrodanthonia tenuior</i>				x
<i>Avena sativa</i>	x			x
<i>Bidens pilosa</i>	x			x
<i>Biza minor</i>	x			x
<i>Bromus catharticus</i>	x			x
<i>Bryophyllum delagoensis</i>	x			x
<i>Callistemon viminalis</i>	x		x	
<i>Centaurium tenuiflorum</i>	x			x
<i>Conyza</i> sp.	x			x
<i>Corymbia maculata</i>		x		
<i>Cupressocyparis x leylandii</i>	x	x		
<i>Cynodon dactylon</i>				x
<i>Cyperus eragrostis</i>	x			x
<i>Dichelachne micrantha</i>				x
<i>Eriharta erecta</i>	x			x
<i>Elinadia hastata</i>				x
<i>Elinadia trigona</i>				x
<i>Eucalyptus elata</i>		x		
<i>Eucalyptus microcorys</i>	x			
<i>Glycine microphylla</i>				x
<i>Glycine tabacina</i>				x
<i>Gnaphalium polycaulon</i>	x			x
<i>Gomphrena celosoides</i>	x			x
<i>Hypochaeris radicata</i>	x			x
<i>Rhaphiolepis indica</i>	x		x	
<i>Jasminum polyanthum</i>	x			x
<i>Ligustrum sinense</i>	x		x	
<i>Lycium ferocissimum</i>	x		x	
<i>Makus</i> sp.	x		x	
<i>Microlaena stipoides</i>				x
<i>Morus</i> sp.	x		x	
<i>Nerium oleander</i>	x		x	
<i>Ochna serrulata</i>	x		x	
<i>Olea europaea</i> subsp. <i>cuspidata</i>	x		x	

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Scientific Name	Exotic/Non-indigenous	Canopy	Mid Strata	Groundcover
<i>Onopordum acanthium</i>	x			x
<i>Paspalum dilatatum</i>	x			x
<i>Passiflora</i> sp.	x			x
<i>Pennisetum clandestinum</i>	x			x
<i>Phytolaja</i> sp.	x		x	
<i>Pinus radiata</i>	x	x		
<i>Plantago lanceolata</i>	x			x
<i>Plumeria</i> sp.	x		x	
<i>Prunus persica</i>	x		x	
<i>Ranuncula rosea</i> var <i>reflexa</i>	x			x
<i>Rumex brownii</i>	x			x
<i>Setaria</i> sp.	x			x
<i>Sida rhombifolia</i>	x			x
<i>Sporobolus africanus</i>	x			x
<i>Themeda australis</i>				x
<i>Trachelospermum jasminoides</i>	x			x
<i>Tricoryne elatior</i>				x
<i>Verbena bonariensis</i>	x			x
<i>Wahlenbergia communis</i>				x
<i>Wahlenbergia gracilis</i>				x
<i>Wisteria</i> sp.	x		x	



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33 MORSHEAD ROAD, MOUNT ANNAN

PROPOSED REZONING AND SUBDIVISION

LOT 71, DP 702819

Attachment 2

UPDATED TRAFFIC IMPACT ASSESSMENT

DECEMBER 2019

HEMANOTE CONSULTANTS PTY LTD

TRAFFIC ENGINEERING & DESIGN CONSULTANTS

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UPDATED TRAFFIC IMPACT ASSESSMENT
 LOT 71, DP 702819
 33 MORSHEAD ROAD, MOUNT ANNAN
 PROPOSED REZONING & SUBDIVISION
 DATE: 19 DECEMBER 2019

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Document Title Updated Traffic Impact Assessment – 33 Morshead Road, Mount Annan

Doc. Revision	Prepared by	Reviewed by	Issued by	Issued date
Draft 1 (internally)	Ngoc Dang	Hany Takla	Hany Takla	10/07/2018
Final report (to client)	Ramy Selim	Hany Takla	Ramy Selim	10/09/2018
Updated Final report (to client)	Ramy Selim	Hany Takla	Ramy Selim	26/09/2018
Updated Final report (to client)	J. Payet	H. Takla	H. Takla	19/12/2019

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Traffic Impact Assessment – 33 Morshead Road, Mount Annan

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Traffic Impact Assessment – 33 Morshead Road, Mount Annan

1 INTRODUCTION

This report has been prepared by Hemanote Consultants to assess the traffic implications of the proposed rezoning and subdivision application for the site legally known as Lot 71 in DP702819 and located at 33 Morshead Road, Mount Annan.

This report is to be read in conjunction with the design layout plans prepared by BJC Design and submitted to Camden Council as part of a Rezoning Development Application from low density to medium density residential.

This report is set as follows:

- *Section 2:* Description of the existing site location and its use;
- *Section 3:* Description of existing road network, traffic conditions & transportation services in the vicinity of the site;
- *Section 4:* Description of the proposed rezoning residential development, road layout and impacts on traffic; and
- *Section 5:* Outlines Conclusion.

2 EXISTING SITE DESCRIPTION

➤ Site Location

The subject site is located on the eastern side of Morshead Road, north of its intersection with Holdsworth Drive and at property No. 33 Morshead Road, within the suburb of Mount Annan. Refer to Figure 1 for a site locality map.

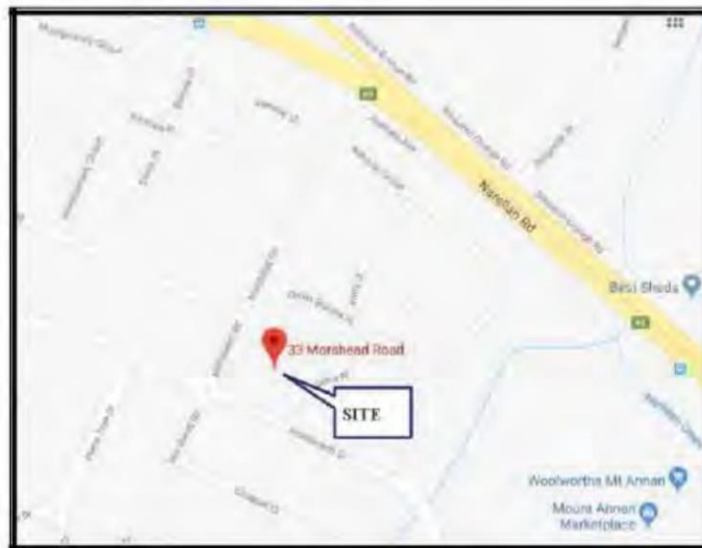


Figure 1: Site Locality Map

➤ Existing Site & Surrounding Land Use

The subject site has an area of approximately 3,263m² and currently consists of a single dwelling. It has a frontage of approximately 30 metres to Morshead Road with a single driveway access point. It also fronts Buna Close from the north.

The site is located in a mainly residential area, with a mixture of single dwellings and multi dwellings sites.

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Traffic Impact Assessment – 33 Morshead Road, Mount Annan

The subject site is currently zoned R2 'Low Density Residential' and is surrounded by a number of R3 'Medium Density Residential' sites, as shown on The Camden LEP 2010 Land Zoning Map in Figure 2 below.

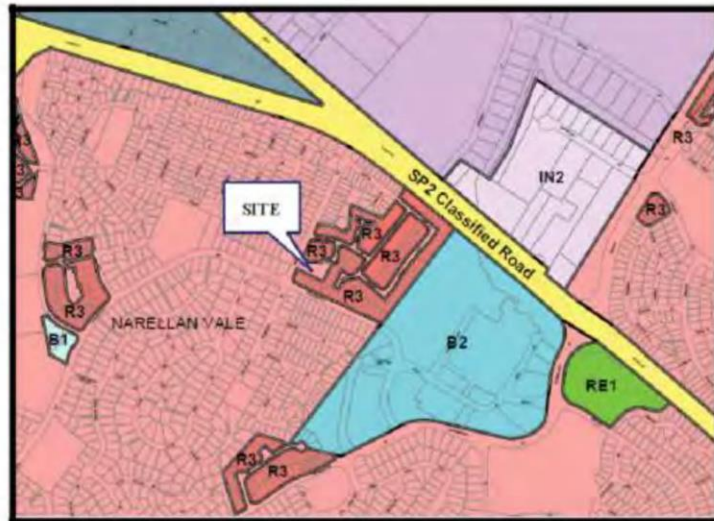


Figure 2: Current zoning in the vicinity of the subject site



Figure 3: Aerial map – Subject site and surrounding roads



Photo 1: The frontage of the subject site to Morshead Road

3 EXISTING TRAFFIC & TRANSPORT CONDITIONS

3.1 Existing Road Network, Classification & Traffic Controls

The existing road network in the vicinity of the subject site is shown in Figure 4 and summarised as follows:

- **Narellan Road** A classified State Road under the jurisdiction of the Roads and Maritime Services. It is a multi-lane two-way divided road and carries a high volume of traffic daily and connects to the Camden By-Pass and to Waterworth Drive.
- **Holdsworth Drive** A local residential road that runs east-west in the vicinity of the subject site. It has a two-way undivided carriageway with one traffic lane in each direction, in addition to a parking lane on each side of the road. It has a legal speed limit of 50 km/h. It intersects with Morshead Road near the subject site and is controlled by a roundabout.
- **Morshead Road** A local residential road that runs north-west in the vicinity of the subject site. It has a two-way undivided carriageway with one traffic lane in each direction. It has a legal speed limit of 50 km/h. It intersects with Holdsworth Drive near the subject site and is controlled by a roundabout.
- **Buna Close** A local cul-de-sac road with a two-way carriageway having a width of approximately 5 metres. It connects to the northern boundary of the subject site and it runs off Owen Stanley Street which is a local road as well that connects to Morshead Road. Buna Close provides vehicular access to adjoining residential properties.

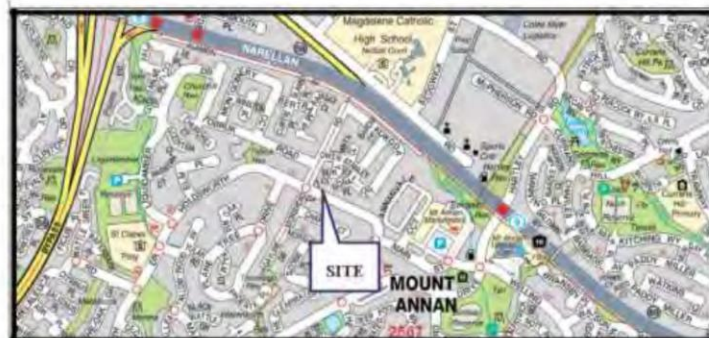


Figure 4: Subject site and surrounding road network



Photo 2: Morshead Road near the subject site - facing south



Photo 3: Holdsworth Drive near Morshead Road - facing west

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Traffic Impact Assessment – 33 Morshead Road, Mount Annan



Photo 4: Buna Close at the north boundary of the subject site - facing south

The current traffic flows on Morshead Road and Holdsworth Drive are considered to be appropriate for local residential roads, where traffic is free flowing without any major queuing or delays in peak hours, with spare capacity.

The current traffic flows on Owen Stanley Street and Buna Close are also low and appropriate for local roads providing vehicular access to adjoining residential properties, without any major queuing or delays in peak hours, with spare capacity.

It is determined that the existing Level of Service on the above mentioned roads is at level 'A' in accordance with Table 4.4 of the Roads & Maritime Services' *Guide to Traffic Generating Developments - 2002* (attached below) with peak hour flow being less than 200 vehicles/hr per direction.

Level of Service	One Lane (veh/hr)	Two Lanes (veh/hr)
A	200	900
B	380	1400
C	600	1800
D	900	2200
E	1400	2800

Table 4.4: Urban road peak hour flows per direction (RMS Guide)

**Current Intersection Performance**

Average Vehicle Delay (AVD) and Level of Service (LOS) – The AVD and LOS provide a measure of the operational performance of an intersection as indicated in Table 4.2 of the Roads & Maritime Services' "Guide to Traffic Generating Developments - 2002" (attached below).

It has been observed that the operational performance of the intersection of Morshead Road and Holdsworth Drive is in Good operation at a level of service 'A', in accordance with Table 4.2 of the Roads & Maritime Services guide with an average delay less than 14 seconds per vehicle.

Level of Service	Average Delay per Vehicle (secs/veh)	Traffic Signals, Roundabout	Give Way & Stop Signs
A	< 14	Good operation	Good operation
B	15 to 28	Good with acceptable delays & spare capacity	Acceptable delays & spare capacity
C	29 to 42	Satisfactory	Satisfactory, but accident study required
D	43 to 56	Operating near capacity	Near capacity & accident study required
E	57 to 70	At capacity, at signals, incidents will cause excessive delays Roundabouts require other control mode	At capacity, requires other control mode

Table 4.2: Level of Service Criteria for intersections (RMS Guide)

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3.2 Existing Transportation Services

The subject site has good access to existing public transport services in the form of trains and buses. The site is located approximately 7 km north west of Macarthur Railway Station.

Regular bus routes currently operate along both sides of Holdsworth Drive and Waterworth Drive in very close proximity to the subject site (i.e. bus route 890, 892 and 893). Refer to Figure 5 for bus routes map in the vicinity of the subject site.

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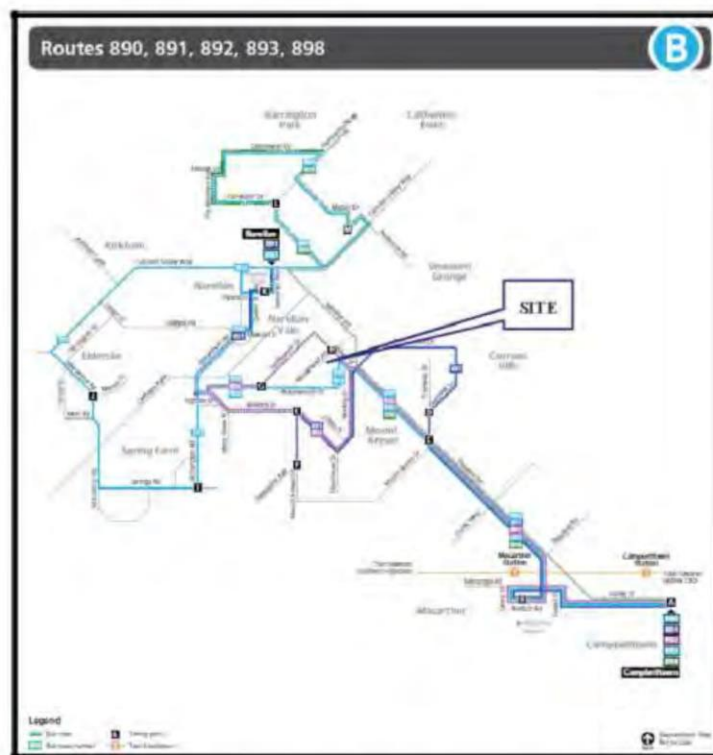


Figure 5: Bus routes map in the vicinity of the subject site

4 PROPOSED REZONING DEVELOPMENT

4.1 Description of the Proposal

The planning proposal request approval for the rezoning and subdivision of the subject site located at 33 Morshead Road, Mount Annan from zoning R2 'Low Density Residential' to R3 'Medium Density Residential'.

The proposed rezoning of the subject land is expected to allow for the provision of up to ten (10) subdivided lots (to accommodate a single dwelling on each lot) with an internal two-way road, which will be an extension to Morshead Road at the western boundary of the site.

Refer to **Appendix 'A'** for the proposed development site layout plans.

4.2 Vehicular Access

The proposed vehicular access to and from the subject site will be through a proposed new no-through road (cul-de-sac) to be constructed off Morshead Road at the western boundary of the site. A secondary optional vehicular access to and from the subject site will also be through a new road to be constructed as an extension to the existing dead-end road of Buna Close at the northern boundary of the site subject to Council approval.

The proposed roads are to provide vehicular access to the proposed subdivided lots and dwellings for the subject site.

All vehicular access is to be located and constructed in accordance with the requirements of AS2890.1:2004, where adequate sight distance is provided. Details of the proposed road layout are outlined in Section 4.3 of this report.

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4.3 Proposed Road Alignment (proposed new access road)

As part of the subject rezoning proposal and future residential subdivision of the subject site, it is proposed to construct a new no-through road (cul-de-sac) off Morshead Road at the western boundary of the site to service the proposed residential development, including the provision of vehicular access to off-street car parking spaces/garages for the proposed future dwellings.

It is also proposed to construct a new road extension at the end of the existing Buna close, to service the proposed residential development, including the provision of vehicular access to off-street car parking spaces/garages for the proposed future dwellings, subject to Council approval.

At present, the carriageway in Morshead Road has a width of approximately 8 metres. The new no-through road end (cul-de-sac) will have a clear carriageway radius of 9.92 metres, in addition to a 1.2m wide footpath/nature strip on either side with roll-top type kerb, as per the requirements for Access Road or Access Place under Category E of Table 2.1 of the Camden Council Engineering Design Specification for a cul-de-sac road under 200 metres in length.

The proposed access road laneway falls under the category of laneways as per Section 3.3.2 of Camden Growth Centre Precincts DCP, which outlines that the primary purpose of laneways is to "create attractive front residential streets by removing garages and driveway cuts from the street frontages, improving the presentation of houses and maximising on street parking spaces and street trees".

The proposed cul-de-sac will have a total radius of 9.92 metres, in addition to a 1.2m wide footway on either side. Therefore, the proposed no-through road layout is considered to be adequate for the proposed rezoning and future subdivision of the subject site and in accordance with Figure 3-16 of the DCP, as shown on the next page. The proposed no-through road carriageway must have a minimum width of 6 metres.

The cul-de-sac layout has been designed in a way to accommodate a full turn for a Medium Rigid Vehicle (MRV - 8.8 metres in length), which can be utilised by a waste collection truck or an emergency vehicle. Refer to the attached vehicle swept paths diagrams for MRV in Appendix 'B' of this report.

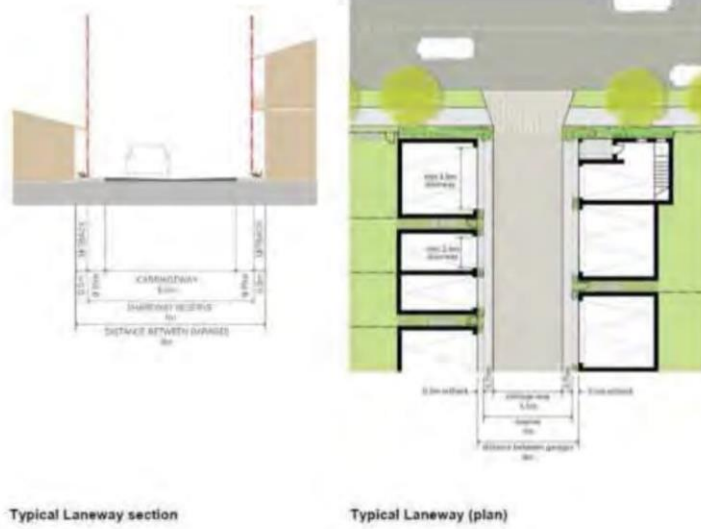


Figure 3-16: Laneway principles

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Traffic Impact Assessment – 33 Morshead Road, Mount Annan

4.4 Expected Traffic Generation

An indication of the potential traffic generation of the proposed rezoning of the subject site from low density to medium density residential and the expected future subdivision of the site into nine (9) dwellings is provided by the RMS *Guide to Traffic Generating Development 2002 – Technical Direction*.

The Guide specifies the following traffic generation rates for dwelling houses in Sydney:

- 10.7 daily vehicle trips per dwelling, and
- 0.95 (AM) peak hour vehicle trips per dwelling
- 0.99 (PM) peak hour vehicle trips per dwelling.

Therefore, the proposed development site for 9 dwellings has an estimated traffic generation as shown on the following table:

Development Site	Type of dwellings	Estimated No. of dwellings	Daily vehicle trips	AM & PM Peak hour vehicle trips
33 Morshead Road, Mount Annan	Single dwellings	9	97	9

It should also be noted that the rates used by the RMS Guide are based on surveys of areas where public transport accessibility can be often limited. However, the subject site has access to a regular bus route within a short walking distance and therefore these rates are considered to be conservative and could justifiably be further reduced.

The RMS guide states that "As a guide, about 25% of trips are internal to the subdivision, involving local shopping, schools and local social visits".

The estimated peak hour traffic generation of 10 vehicle per hour for the proposed rezoning and future subdivision development site is considered to be acceptable and will have no major impact on the surrounding road network and can be easily accommodated.

It will not alter the current levels of service and additional traffic can be readily accommodated within the existing road network, without the need for any upgrade or change. The external impact of the traffic generated by the proposal is considered to be satisfactory and will remain well within the Environmental capacity of the surrounding streets, with no adverse impacts on the amenity of the area.

5 CONCLUSION

It can be concluded from the traffic impact assessment that the proposed rezoning and subdivision of the subject site located at 33 Morshead Road, Mount Annan from zoning R2 'Low Density Residential' to R3 'Medium Density Residential' will have no adverse impacts on the surrounding road network.

- The current traffic flows on the surrounding roads are considered to be appropriate for local residential roads, where traffic is free flowing without any major queuing or delays in peak hours, with spare capacity.
- The estimated traffic generated trips are considered to be acceptable and of low impact on the surrounding road network and can be easily accommodated with the existing road network.
- The external impact of the traffic generated by proposal is considered to be satisfactory and will remain well within the Environmental capacity of the surrounding streets, with no adverse impacts on the amenity of the area.
- The location and layout of the proposed access road is considered to be adequate and will provide vehicular access to the expected future residential subdivision and is in accordance with Council's Engineering Design Specification and Council's DCP.
- The subject site has good access to existing public transport services in the form of regular bus services.

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Traffic Impact Assessment – 33 Morshead Road, Mount Annan

Appendix A – Proposed Development Site Layout Plans

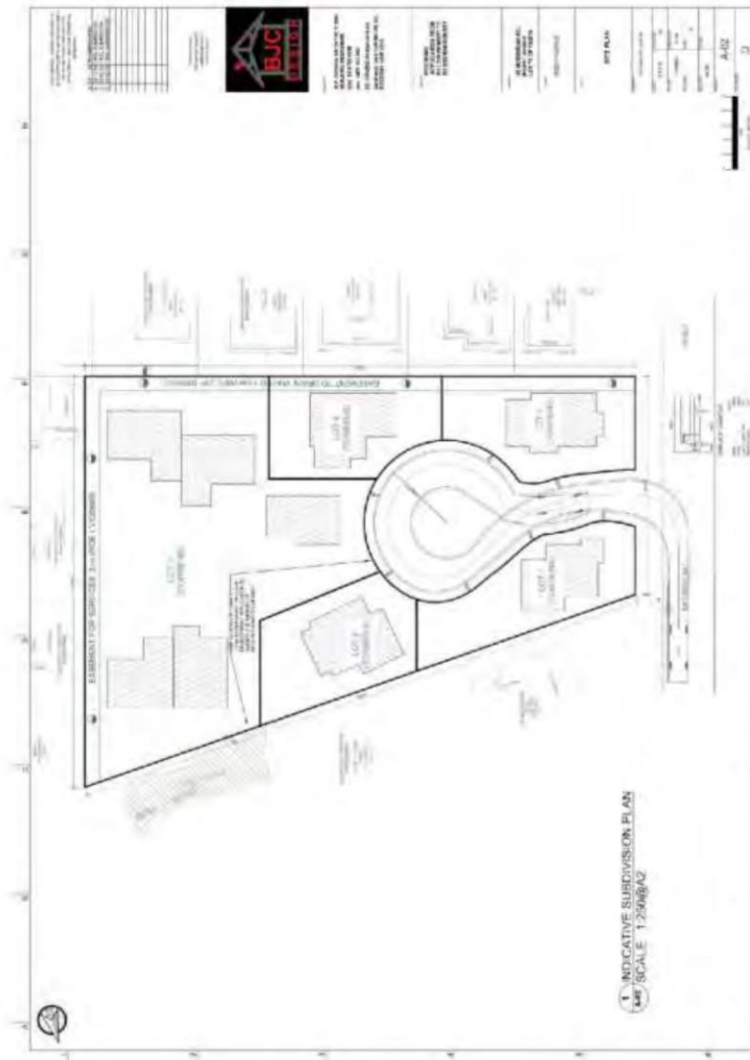
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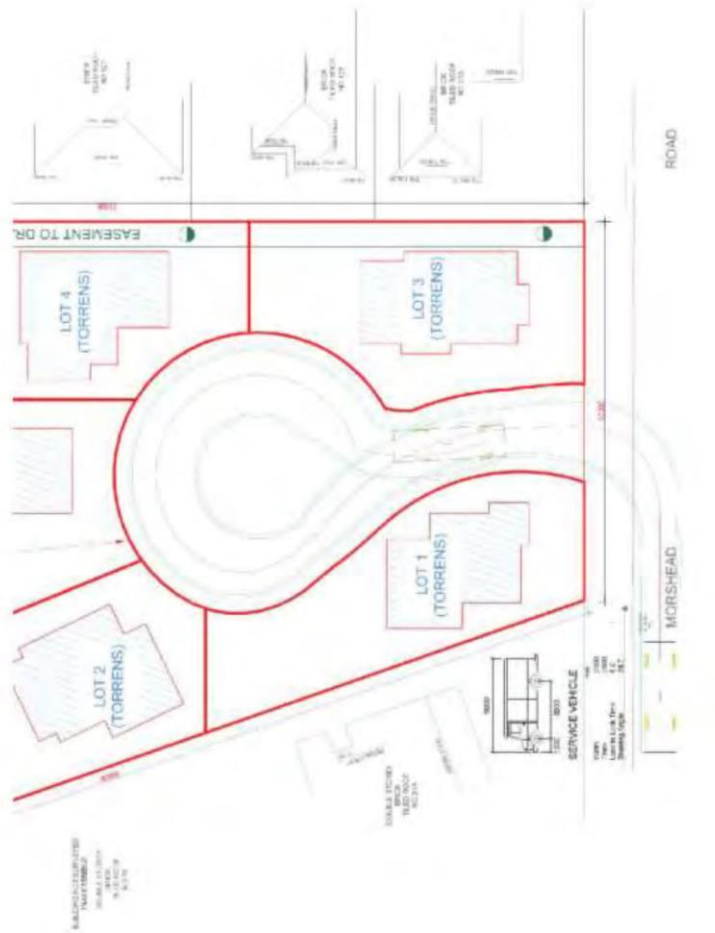
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Traffic Impact Assessment – 33 Morshead Road, Mount Annan

Appendix B – Vehicle Swept Paths

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16 December 2019

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Annexure “I”

**Urban Design Report and Development
(Indicative Scheme No. 2) Overview**

Attachment 2

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Attachment 2

33 Morshead Road, Mount Annan

Urban Design Report & Development Overview

Prepared For:
BAC DESIGN TO ACCOMPANY PLANNING PROPOSAL REQUEST BY PASCOE PLANNING SOLUTIONS
19 August 2019



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eee design partnership has prepared this document for the sole use of BJC DESIGN.

No other party should rely on this document without the prior written consent of **eee design partnership**.

eee design partnership may also have relied upon information provided by the Client and other third parties to prepare this document.

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Attachment 2



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1.1 Purpose

This report is to be read in conjunction with further information provided in the Planning Proposal Request prepared by Pascoe Planning Solutions.

1.2 Background

In October 2018, Pascoe Planning Solutions submitted a Planning Proposal Request to Camden Council (Council) which sought to amend the Camden Local Environmental Plan 2010 by:

- Rezoning the site from R2 Low Density Residential to R3 Medium Density Residential; and
- Amending the minimum lot size from 400m² to 250m².

On 11 June 2019, Council issued a letter to BJC Design requesting for further information and updates to application documents.

1.3 Objectives

The objectives of this urban design report are to:

1. Conduct site analysis and identify opportunities in Strategic and Local Context to establish a Desired Future Character for the site which is compatible with surrounding development and establishes a template for potential future redevelopment, consistent with prevailing local planning context.
2. Assess the proposed development against:
 - Desired Future Character; and
 - Key Objectives under State Environmental Planning

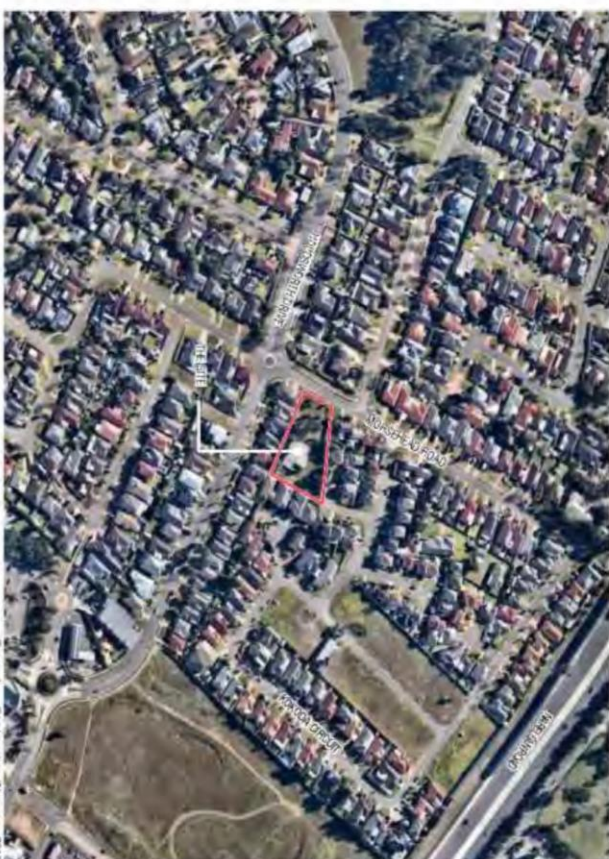


Figure 1. Site Location (Nearmap 2019)

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2.0 Strategic Context

2.1 Greater Sydney Region Plan

As outlined in the Planning Proposal Request, redevelopment of the site will be consistent with the following key directions in respect of infrastructure and collaboration, livability, productivity and sustainability:

- Objective 4 - Infrastructure use is optimised
- Objective 6 - Services and infrastructure meet communities' changing needs
- Objective 7 - Communities are healthy, resilient and socially connected
- Objective 10 - Greater Housing Supply
- Objective 11 - Housing is more diverse and affordable
- Objective 26 - The coast and waterways are protected and healthier
- Objective 27 - Biodiversity is protected; urban bushland and remnant vegetation is enhanced
- Objective 28 - Scenic and cultural landscapes are protected
- Objective 37 - Exposure to natural and urban hazards is reduced.

2.2 Western City District Plan

Similarly, the proposal will remain consistent with:

- Planning Priority W1 - Planning for a city supported by infrastructure
- Planning Priority W5 - Providing housing supply, choice and affordability, with access to jobs, services and public transport.
- Planning Priority W12 - Protecting and improving the health and enjoyment of the District's waterways

33 MORSHEAD ROAD, MOUNT ANNAN



2.3 Camden Local Environmental Plan 2010

2.3 Current Zoning

The site is located within the R2 Low Density Residential land use zone under the Camden Local Environmental Plan 2010. The objectives of the zone are:

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To allow for educational, recreational, community and religious activities that support the wellbeing of the community.
- To minimise conflict between land uses within the zone and land uses within adjoining zones.

2.4 Current Height of Buildings

The site is subject to a height limit of 9.3 metres as illustrated in Figure 5 below. The objectives governing height are:

- to ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality;
- to minimise the visual impact, disruption of views, loss of privacy and loss of solar access to existing development;
- to minimise the adverse impact of development on heritage conservation areas and heritage items.

2.4 Current Minimum Lot Size

The site is subject to a minimum lot size of 450m². The objectives of minimum lot sizes are:

- to ensure that subdivision reflects and reinforces the predominant subdivision pattern of the area;
- to ensure that lot sizes and dimensions are able to accommodate development consistent with relevant development controls;
- to ensure that lot sizes and dimensions allow challenges to be shed to protect natural or cultural features, including heritage items, and retain special features such as trees and views;
- to provide for a range of residential lot sizes and types;
- to ensure that the density of development is consistent with the existing and proposed future road and utility infrastructure in the locality.



LEGEND Figure 3. Land Use Zoning Map (Camden LEP 2010)

- The Site
- R3 Medium Density Residential
- R2 Low Density Residential

33 MORSHEAD ROAD, MOUNT ANNAN



LEGEND Figure 4. Height of Buildings Map (Camden LEP 2010)

- The Site
- 9.3m



LEGEND Figure 5. Minimum Lot Size Map (Camden LEP 2010)

- The Site
- 450m²
- 250m²

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Attachment 2

3.1 Site Locality

The locality is defined by a 400 metre (5 minute) walking catchment from the site.

The locality is characterised by:

- Single and two storey detached residential built form;
- On linear streets, lot shapes produce regular shaped small to modest allotments;
- Where streets end on a cul de sac, irregular shaped lots are produced; in some instances providing battle axe allotments;
- Sparse vegetation along streets;
- In most instances, grass verges are only provided lacking pedestrian pathways;
- Where pedestrian paths are provided on blocks, little to no landscaping is provided to adjacent grass verges;
- Single vehicular access into residential sites directly off the street;
- Corner allotments dominated by boundary fencing; and
- a particularly modest public realm.



3.2 Landscape

Topography

As illustrated in Figure 7, the locality is generally flat in topography. The highest point is located at the south western end of the 400 metre catchment at RL 114 in accordance with the NSW SIX Maps Spatial Data.

The lowest points are located north west at RL 90 and north east at RL 89 which is a riparian waterway that creates a physical boundary between the residential frame of the area and commercial uses to the east.

Morshead Road is located on a ridge line.

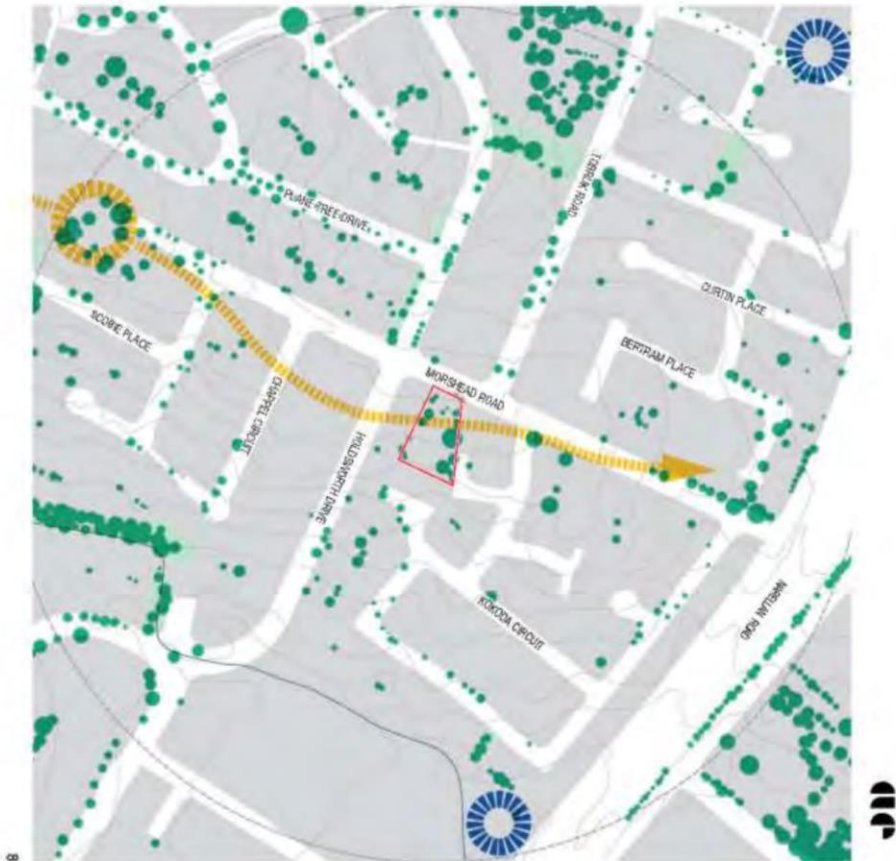
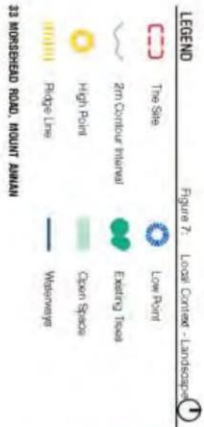
The site sits on contour RL 106.

Vegetation

The locality is characterised by sparse vegetation with majority of trees located within residential properties. Few street trees are provided along streetscapes.

The streets are devoid of character forming trees.

Public open spaces generally have trees lined along the perimeter of public parks and in some instances, sporadically around a single edge or corner of the open space.



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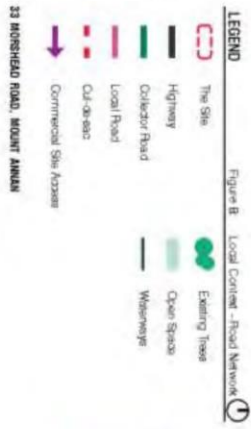
3.3 Road Network

As illustrated in Figure 8, the local road network is comprised of a range of different types of roads from major arterial roads to local streets.

Navellan Road forms the north-eastern boundary of the locality providing north and south connections to Greater Sydney. Watworth Drive provides the northern most road connection into Mount Annan from Navellan Road.

Morshead Road is a local street that runs perpendicular to Holdsworth Drive.

Cul-de-sacs occur frequently off local streets which reduce direct connections to destinations around the area. As a result, poor vehicular links are available in the area, it being characterized by limited permeability.

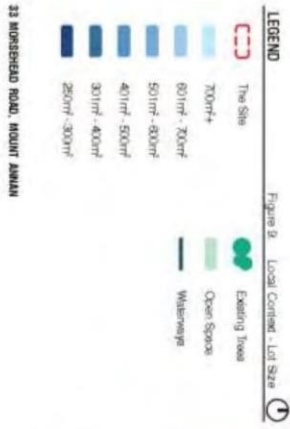


3.4 Lot Size

Lots comprising detached residential dwellings in the locality vary between 243m² to 550m² in area, with the residue allotment of 4,048m² being the exception.

The lots in the immediate precinct and most proximate to the subject site, bounded by Morshead Road to the west, Owen Stanley Street and Kokoda Circuit to the north, Holdsworth Drive to the South and Thornleigh Gully to the east, are generally the smallest.

These small lots directly north of the site have areas between 243m² and 390m² and represent up to a 46% departure from the minimum lot area development standard under the current Camden LEP 2010.



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Attachment 2

3.5 Pedestrian Movement

Under current conditions in the area, there is limited pedestrian mobility due to the nature of the road network in the locality and the limited provision of pedestrian paths on residential blocks. As mentioned in Section 3.3, the road network is characterised frequently of cul-de-sacs which limit pedestrian connections within the area. In general the neighbourhood lacks permeability.



3.6 Built Form

3.6.1 Building Envelopes

Building Footprints

Detached residential dwellings are the dominant building type in the locality.

Setbacks:

- Street frontage setbacks are generally 6 metres.
- Side setbacks are generally 0.9 metres.
- Variable rear setbacks up to 18 metres (depending on depth of the lot).

Building Heights

The locality is dominated by residential dwellings of single and two storey built forms.

Two storey built forms are largely located on smaller allotments with areas ranging between 243m² and 400m².

Building Forms

Dwellings are predominantly brick veneer construction with hipped roof forms.

Rendered facades are rare.

Buildings have minimal articulation.

LEGEND
Figure 11: Local Context - Built Form

- 1 Storey
- 2 Storey
- 3 Storey
- Existing Tree
- Open Space

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3.6.2 Streetscape

A streetscape elevation of eastern side of Morshead Road between Owen Stanley Street and Holdsworth Drive is shown at Figure 12 below.

The streetscape is characterised by:

- Linear driveways with direct access to ground floor garages;
- Grass verges extending to Morshead Road;
- Pedestrian path and grass verge begins from the corner of Holdsworth Drive;
- Single or few trees within the front yard of properties;
- Only isolated street trees;
- Consistent street setback; and
- Predominantly two storey brick with hipped roof, little articulation and prominent garages built form, with the exception of the single storey dwelling at the corner of Holdsworth Drive and Morshead Road.



Figure 12. Local Context - Existing Streetscape Elevation along Morshead Road

33 MORSHEAD ROAD, MOUNT ANNAN

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4.0 Site Analysis

The site is currently occupied by a dilapidated 1950's residential dwelling with related improvements at the southern-most corner of the lot and poorly maintained landscaped areas.

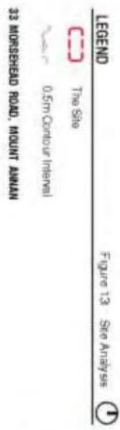
The site sits on the RL 106 contour line in accordance with the NSW SIX Maps Spatial Data.

The terrain on the site is generally flat across a distance of approximately 50 metres with a modest fall of 2 metres over a distance of (approximately) 25 metres.

It has street frontage to Morshead Road to the west (principal access) and Buna Close to the north.

Existing vegetation on the site is concentrated at the northern and southern boundaries of the site and is of little significance.

The site is a residue site and clearly exhibits such qualities.



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5.0 Desired Future Character



As the corresponding Planning Proposal Request prepared by Pascoe Planning Solutions seeks to amend the land use zoning on the site from R2 Low Density Residential to R3 Medium Density Residential, consistent with adjoining properties, the zone objectives establish the desired character of development within medium density residential zones, being:

- To provide for the housing needs of the community within a medium density residential environment.
- To provide a variety of housing types within a medium density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To encourage redevelopment of land for medium density housing in locations close to main activity centres within the Camden local government area.
- To minimise conflict between land uses within the zone and land uses within adjoining zones.

Council has clearly identified the immediate precinct as a medium density precinct having regard to its context, locational setting and general qualities suited to medium density residential development.

It is these aspirations borne out in the development controls which should underpin the future character of the area as it evolves over time.

If this were not the case Council would zone the land R2 Low Density Residential. It chose not to do so in 2010, when the precinct was largely development, given its future aspirations.

Accordingly, the objectives of the prevailing R3 Medium Density Residential Zone, should underpin the desired future character for the area:

- (a) to ensure that subdivision reflects and reinforces the predominant subdivision pattern of the area,
- (b) to ensure that lot sizes and dimensions are able to accommodate development consistent with relevant development controls,
- (c) to ensure that lot sizes and dimensions allow dwellings to be sited to protect natural or cultural features, including heritage items, and retain special features such as trees and views,
- (d) to provide for a range of residential lot sizes and types,
- (e) to ensure that the density of development is consistent with the existing and proposed future road and utility infrastructure in the locality.

6.0 The Proposal

6.1 Planning Proposal Request

The Planning Proposal Request seeks to amend the Camden Local Environmental Plan 2010 by:

- Rectifying the site from R2 Low Density Residential to R3 Medium Density Residential; and
 - Amending the minimum lot size from 450m² to 250m².
- Proposed amendments to the LEP Maps are shown in Figure 14 and Figure 15. It is important to highlight properties within the block in which the site is located is characteristic of a:
- R3 Medium Density Residential land use zone; and
 - Minimum lot area of 250m² under the current Camden LEP 2010.



LEGEND Figure 14. Proposed Amendment to LEP Zoning Map ①

The Site
R3 Medium Density Residential
R2 Low Density Residential



LEGEND Figure 15. Proposed Amendment to Minimum Lot Size Map ①

The Site
450-499m ²
250m ²

33 MORSHEAD ROAD, MOUNT ANNAN

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Attachment 2

6.2 Indicative Concept Plan

6.2.1 Envelope Plan

Figure 16 illustrates an indicative concept for the site showing:

- 10 proposed lots, each comprising a two storey residential dwelling. A detailed breakdown of each lot is shown in Table 1 below;

Table 1 Proposed Lot Areas

Lot Number	Area (m ²)
1	254
2	254
3	311
4	360
5	287
6	252
7	252
8	309
9	273
10	270

- Vehicular access off:
 - Morshead Road for Lot 1 to Lot 3;
 - Buna Close for Lot 9; and
 - Proposed extension of Buna Close to be dedicated to Council for remaining 6 lots.
- Grass verge:
 - 2 on street visitor car parking;
 - Capacity for 4 new street trees within the site to for offset loss of existing vegetation on the site for proposed development
 - Potential for 4 new street trees to be planted along the road verge along Morshead Road.
- Developable area consistent with DCP setbacks shown in a dashed red line;
- Minimum private open space consistent with DCP requirements; and
- Indicative driveway access into lots.

33 MORSHEAD ROAD, MOUNT ANNAN



Figure 16: Proposed Setback Envelopes

6.2.2 Proposed T - Turning Bay

The indicative concept plan proposes a Turning bay as an extension of the existing Buna Close into the site, consistent with *Austroroads Design Vehicles and Turning Paths* for 8.8 metre service vehicles.

The Turning bay is consistent with Figure 17 below.

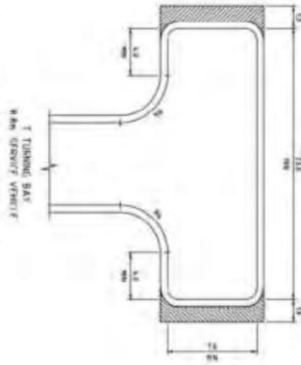


Figure 17: Turning Bay for 8.8m Service Vehicle

In this regard, the proposed concept plan layout has capacity to accommodate Council waste vehicles on bin collection day.



Figure 18: Proposed Layout

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Attachment 2

6.2.3 Indicative Floor Plans

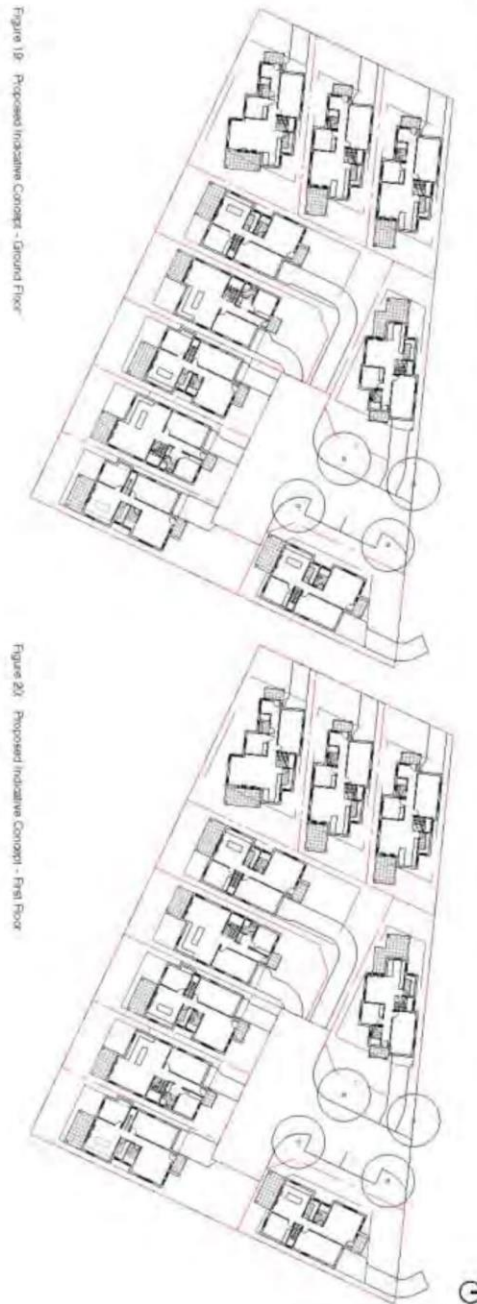


Figure 18: Proposed Indicative Concept - Ground Floor

Figure 20: Proposed Indicative Concept - First Floor

33 MORSHEAD ROAD, MOUNT ANNAN

7.0 Assessment

7.1 Project Venture Developments v Pitwater Council [2005] NSWLEC 191

In order to determine whether the proposal is compatible with the desired future character for the site, it is appropriate to consider NSW LEC planning principle 'compatibility with context' established in Project Venture Developments v Pitwater Council [2005] NSWLEC 191.

In his judgement, Roseeth SC states at paragraph [22]:

"There are many dictionary definitions of compatible. The most apposite meaning in an urban design context is capable of existing together in harmony. Compatibility is thus different from sameness. It is generally accepted that buildings can exist together in harmony without having the same density, scale or appearance. Though as the difference in these attributes increases, harmony is harder to achieve".

(emphasis added)

In this instance, the site is located in the R2 Low Density Residential land use zone under the current LEP. The streetscape along Morshead Road is comprised of predominantly two storey residential developments with:

- a consistent street setback;
- varying street frontage lengths from 11m to 73m;
- sparse landscaped vegetation within front yards;
- no fencing at the street frontage; and
- linear vehicular driveway directly to ground floor garages.

Roseeth SC also states at paragraph [24] of his judgement in Project Venture Developments v Pitwater Council [2005] NSWLEC 191:

"Where compatibility between a building and its surroundings is desirable, its two major aspects are physical impact and visual impact. In order to test whether a proposal is compatible with its context, two questions should be asked.

- *Are the proposal's physical impacts on surrounding development acceptable? The physical impacts include constraints on the development potential of surrounding sites.*
- *Is the proposal's appearance in harmony with the buildings around it and the character of the street?"*

This test is applied to the proposed development:

Are the proposal's physical impacts on surrounding development acceptable? The physical impacts include constraints on the development potential of surrounding sites.

The proposal's physical impacts on surrounding development are acceptable on the following grounds:

- The proposal retains existing pattern of development along Morshead Road and Buna Close consistent with orientation of residential dwellings;
- Proposed lot areas are compatible with neighbouring allotments immediately north of the site, particularly along Morshead Road, Owen Stanley Street and Buna Close;
- Proposed built form produces two storey development consistent with adjacent properties;
- Turning bay improves existing vehicular access for service vehicles consistent with Austroads requirements; and
- Development potential amenity of adjoining sites is not adversely impacted.

Is the proposal's appearance in harmony with the buildings around it and the character of the street?

- Indicative dwellings on proposed lots (Lot 1, Lot 2 and Lot 3) along Morshead Road are consistent with adjoining properties in terms of:
 - Front setback;
 - Orientation;
 - Building Height; and
 - Vehicular Access into lots.
- Proposed dwellings on Lots 4, 10 off Buna Close extension produce similar built form to that of existing development along the street.
- Indicative landscape treatment within proposed lots consistent with landscape requirements under the Camden DCP 2011 and compatible with existing streetscape character of both Morshead Road and Buna Close.
- The physical and visual impact will clearly be consistent and harmonious.

For the aforementioned reasons outlined in this assessment, the proposed development is considered compatible with surrounding development in the locality. The proposal is considered to be in harmony with existing development along the streetscape.

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7.2 Consistency with Objectives under Camden LEP 2010

R3 Medium Density Residential - Zone Objectives

Objective	Consistency with Proposal	Compliance
To provide for the housing needs of the community within a medium density residential environment.	The indicative concept plan on the site provides 10 lots each with a detached two storey residential dwelling consistent with development standards under the Camden DCP 2011.	✓
To provide a variety of housing types within a medium density residential environment.	As illustrated in Section 6.2.3, four different housing layouts are provided within the site across the 10 allotments.	✓
To enable other land uses that provide facilities or services to meet the day to day needs of residents.	This application does not involve land uses other than residential so as not to detract from the existing character of the area.	✓
To encourage redevelopment of land for medium density housing in locations close to main activity centres within the Camden local government area.	The site is located within a 500 metre walking catchment of the Mount Annan Local Centre. Proposed medium density residential uses will have access to the main activity centre of Mount Annan.	✓
To minimise conflict between land uses within the zone and land uses within adjoining zones.	Proposed amendments to the Camden LEP 2010 are consistent with the existing character of the locality being R3 Medium Density Residential and R2 Low Density Residential.	✓

Minimum Lot Size

Objective	Consistency with Proposal	Compliance
(a) To ensure that subdivision reflects and reinforces the predominant subdivision pattern of the area.	The proposed subdivision layout reinforces the existing subdivision pattern of the area by providing similar shaped and sized allotments.	✓
(b) To ensure that lot sizes and dimensions are able to accommodate development consistent with relevant development controls.	Indicative concept plans for residential development on proposed lots are consistent with Camden DCP 2011.	✓
(c) To ensure that lot sizes and dimensions allow dwellings to be sited to protect natural or cultural features, including heritage items, and retain special features such as trees and views.	Consideration has been given to the siting of residential dwellings on each proposed lot with regard to natural features of the area. It is important to highlight the site is not a heritage item nor is located within vicinity of a heritage item. The site is situated in a fully developed contemporary urban release area.	✓
(d) To provide for a range of residential lot sizes and types.	Proposed development provides a range of lot sizes between 252m ² and 380m ² . Refer to Section 7.4 .	✓
(e) To ensure that the density of development is consistent with the existing and proposed future road and utility infrastructure in the locality.	Proposed subdivision layout is consistent with the density of the area. The proposed extension of Buna Close and Turning Bay ensures Council waste service vehicles can accommodate existing and new residential developments along Buna Close, as well as Morshead Road.	✓

33 MORSHEAD ROAD, MOUNT ANNAN

7.3 Road Network

The indicative concept plan for proposed amendments to the Camden LEP 2010 does not adversely impact the functionally existing road network in the locality.

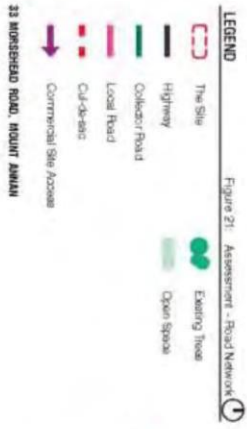
An extension of the existing Buna Close cul-de-sac into a T-junction bay with capacity to accommodate 8.9 metre service vehicles is proposed within the site.

As illustrated in Figure 21, the existing local network comprises of a number of cul-de-sacs shown in dashed red line, including:

- Buna Close;
- Gona Place;
- Imita Close;
- Betnam Place;
- Ramay Close;
- Bardia Circuit; and
- Chapel Circuit.

The proposed extension of Buna Close is therefore consistent with the existing character of the area.

Additionally, safe vehicle and pedestrian movement is not compromised by the proposal.



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Attachment 2

7.4 Lot Size

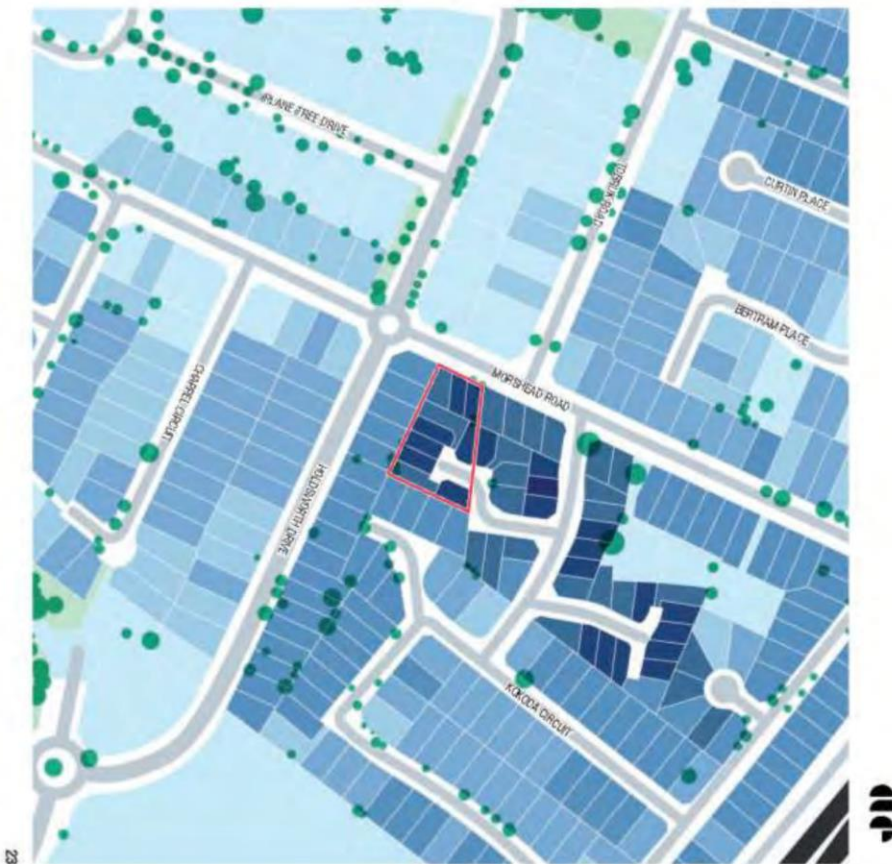
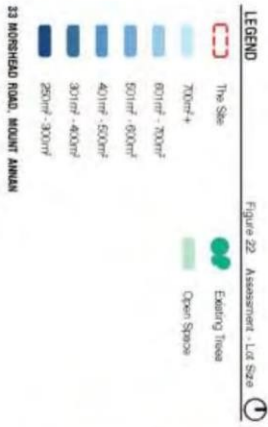
Similarly to lots directly north of the site, the Planning Proposal Request seeks to amend the existing minimum lot size to 250m² consistent with the desired future character of the area.

The diagram in Figure 22 shows the nature of lots immediately surrounding the site generally consistent with proposed lots on the site. Table 2 below details the area of proposed lots on the site.

Table 2 Proposed Lot Areas

Lot Size Group (m ²)	Proposed Lot
250 - 300	1, 2, 5, 6, 7, 9 and 10
301 - 400	3, 4 and 8

The proposed subdivision of the site is consistent with the density of the area. Accordingly, the proposal satisfies Objective e) of Clause 4.1 Minimum Lot Size of the Camden LEP 2010.



7.5 Pedestrian Movement

The indicative concept plan for proposed amendments to the Camden LEP 2010 does not reduce the existing pedestrian links that exist in the locality.

Similar to neighbouring properties, particularly those north of the site, do not provide off street pedestrian pathways. In this regard, the indicative concept for the site is compatible with the existing character of the local area.



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Attachment 2

7.6 Built Form

7.6.1 Building Envelope

The indicative building envelopes for detached residential development on proposed lots are consistent with built form in the locality.

Where lot areas are smaller, building footprints reduce in area. This is similar to existing residential development directly north of the site, where in some cases, smaller lot areas are produced.

Proposed building envelopes are two storeys in height compatible with adjoining two storey developments along Morshead Road, Buna Close and Holdsworth Drive.

Proposed lots facing the Morshead Road frontage are consistent with street frontage setbacks of adjacent sites to the north. Built form is consistently angled to the western aspect with residential entry off Morshead Road.



Figure 24 Assessment - Built Form

33 MORSHEAD ROAD, MOUNT ANNAN

7.6.2 Streetscape

Figure 25 shows a streetscape elevation of the eastern side of Morshead Road between Owen Stanley Street and Holdsworth Drive for proposed Lot 1, Lot 2 and Lot 3 on the site.

The proposed indicative residential dwellings are compatible with existing neighbouring developments north and south along Morshead Road by providing:

- Linear driveways with direct access to ground floor garages;
- Grass verges extending to Morshead Road;
- Consistent street setback; and
- Two storey built form with consistent with No. 29 - No. 33 Morshead Road.

It is important to highlight landscape design of front yards will be subject to detailed design stage of each individual lot.



Figure 25: Assessment - Proposed Streetscape Elevation along Morshead Road

33 MORSHEAD ROAD, MOUNT ANNAN

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Attachment 2

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8.0 Conclusion



In summary, the following conclusions were made:

1. **Land Use Activities**
 - The site is located immediately adjacent R3 Medium Density Residential Development.
 - Proposed subdivision layout for 10 residential allotments remain consistent with the existing character of the area.
 - Proposed lots on the site have capacity to each accommodate a two storey detached residential dwelling (inclusive of open space provision) as demonstrated at Section 6.2.3.
 2. **Density**
 - The indicative concept plan is consistent with proposed amendments to the Minimum Lot Size of the site under Camden LEP 2010.
 - Provision of 10 lots on the site, which meet a minimum area of 250m² are consistent with existing neighbouring development, particularly north of the site.
 - Proposed residential development is compatible with existing density of the locality.
 3. **Built Form**
 - Proposed building envelopes are two storeys in height compatible with adjoining two storey developments along Morshead Road, Buna Close and Hordsworth Drive.
 - Proposed built form is consistent with building envelope requirements under Camden DCP 2011 with particular regard to setbacks and private open space, improving the overall amenity of future residents.
 - Indicative floor plans for detached dwellings on proposed lots are consistent with development standards under the Camden DCP 2011.
 4. **Road Network**
 - The indicative concept plan does not adversely impact the existing road network in the locality.
 - Proposed Turning bay is consistent with *Australia's Design Vehicles and Turning Paths* for 8 metre service vehicles.
 - The proposed extension of the existing Buna Close cul-de sac into a Turning bay has capacity to accommodate Council's Waste service vehicles.
 - Provision of visitor parking and new street trees contribute to improving amenity of future residents.
- Based on an assessment of the proposed indicative concept plan for the site, the proposed development is supported on the following grounds:
1. The proposal is consistent with the desired future character of the area;
 2. The indicative concept plan for residential development on proposed lots demonstrate compatibility with the existing character of the area;
 3. The proposal satisfies zone objectives for R3 Medium Density Residential land uses; and
 4. The proposal satisfies the objectives under Clause 4.1 Minimum Lot Size under Camden LEP 2010.
- Accordingly, the Planning Proposal Request on the property 33 Morshead Road, Mount Annan is supported on urban design grounds and recommended for approval.

ORD02

33/100 Darling Street, Rozelle NSW 2038
02 9818 5858
email: info@architectstudio.com.au
www.architectstudio.com.au

Attachment 2



Annexure "J"

Overview of Past Neighbourhood Consultation

ORD02

Attachment 2

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Council undertook preliminary consultation within the immediate neighbourhood upon receipt of the PPR. The subject consultation resulted in two (2) submissions from a neighbourhood mail-out in the order of 30 households (minimum in Morshead Road, Buna Close and Owen Stanley Street (i.e. representing a response rate of approximately 6 percent).

The subject submissions are reproduced at the end of this Annexure.

Not only are the submissions not considered to be representative of the neighbourhood feeling in respect of the PPR, but they also are not considered to be entirely factual (if they are from adjoining properties) and/or represent a misunderstanding. In this regard it is noted:

Attachment 2

- Two storey development is commonplace in both R2 - Low Density and R3 - Medium Density residential environments
- All two-storey development must comply with the Complying Development provisions as a minimum.
- Overshadowing and privacy concerns have been conceptually addressed in the Indicative Development Scheme evolution and will be further addressed in the compilation of a relevant development application.
- The lot size proposed is a minimum of 250sq.m and is not inconsistent generally with prevailing allotments.
- Any purchaser subsequent to the adoption of Camden Local Environmental Plan in 2010 should have been aware through an appropriate conveyance search that the minimum subdivision lot size in the locality is 250sq.m (as detailed in CLEP 2010).
- Any future development would be compliant with either Complying Development or Council parking requirements. Sufficient road and site capacity exists to address/integrate minimum parking requirements.
- The locality has been selected by Council as fulfilling desirable medium density residential development locational criteria.

ORD02

The General Manager
Camden Council

Re: Planning Proposal, 33 Morshead Road, Mt Annan

We strongly object to the proposal to rezone the above mentioned site, to reduce the minimum lot size from 450m² to 250m².

The site is not close to a major public transport hub, and would be grossly overdeveloped.
Also, most dwellings have at least two occupants with vehicles, which would cause more congestion on local roads.

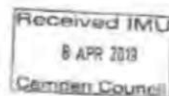
The minimum lot area is set to prevent higher density, so please consider the residents' wishes.

Yours sincerely,



03/04/19

Attachment 2



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Attachment 2

[REDACTED]

From: [REDACTED]
Sent: Sunday, 31 March 2019 11:35 AM
To: Council Mailbox
Cc: One note
Subject: Ref P9/2019/3/1

Follow Up Flag: Follow up
Flag Status: Flagged

To the General Manager,

I would like to make a submission in regards to the proposed planning changes to Lot 71 DP 702819, 33 Morshead Rd, Mount Annan.

[REDACTED] I have concerns that to reduce the lot size of R2 to R3 zoning that the building size will all be two stories and will overshadow [REDACTED] [REDACTED] will be subject to privacy concerns as any building [REDACTED] will look straight into [REDACTED]

The other lots in the immediate area are all larger than the proposed lot. When I purchased my house in [REDACTED] bought with the understanding that this area would all be low density housing lots.

Thankyou for the opportunity to be notified and voice my opinion.

[REDACTED]

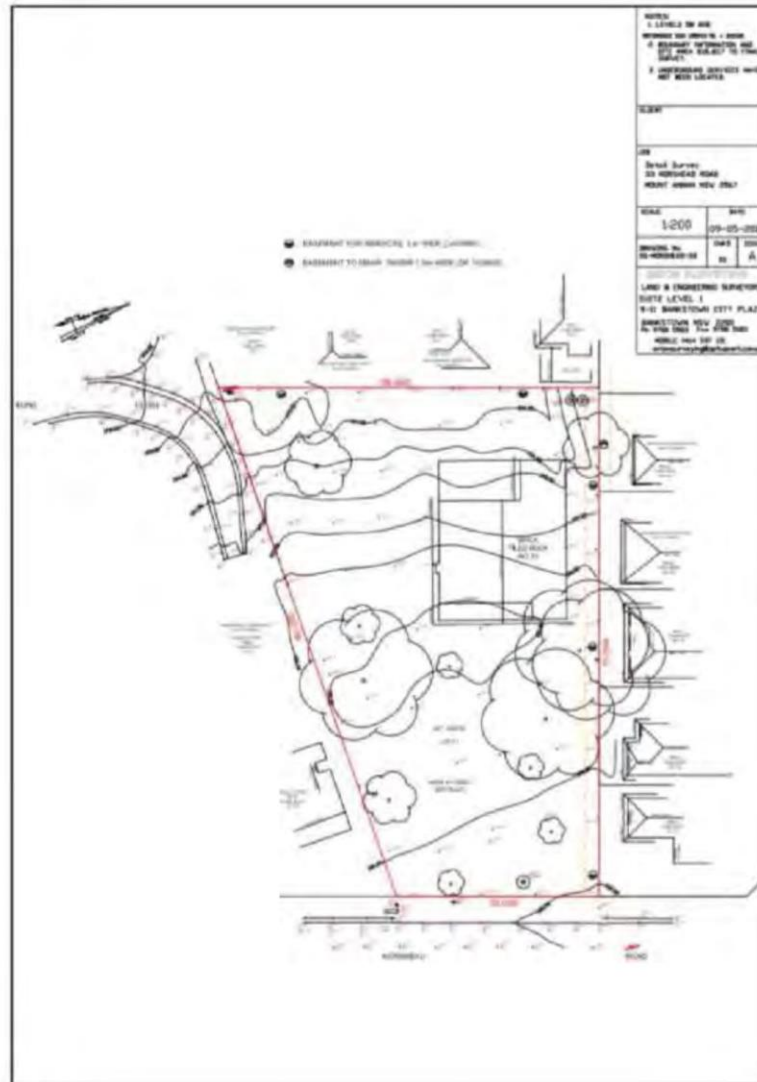
Annexure “K”

Miscellaneous Supporting Documents

ORD02

Attachment 2

Attachment 2



ORD02

Attachment 2



ORD02

Attachment 2



BJC Design
1B/9 Mavis Street
Revesby NSW 2212

18 April, 2018

Refer: 6413-1.1L

Attention: Mr Bashir Chidiac

Email: info@bjcdesign.com.au

PROPOSED RESIDENTIAL SUBDIVISION

33 MORSHEAD ROAD, MT ANNAN, NSW - ACOUSTIC ASSESSMENT

Day Design has been engaged to provide a high level noise assessment of the proposed residential subdivision to be located at 33 Morshead Road, Mt Annan, NSW.

The site is located approximately 300 metres south of Narellan Road and 400 metres west of Mt Annan Marketplace. Given the large distances from potential noise sources such as major roads or commercial precincts affecting the residential development, it is unlikely that any acoustic treatment will be required as part of the construction of the residential dwellings on the proposed subdivision.

There is a total of 11 residential lots proposed as part of the subdivision. The traffic generation from the creation of 11 residential lots is expected to be minor and of minimal impact in generation of noise from additional traffic on the local road network.

Air conditioning units should be operated in accordance with Clause 52 of the Protection of the Environment Operations (Noise Control) Regulation 2008. Clause 52 states the following in relation to the use of air conditioners and heat pump water heaters:

"A person must not cause or permit an air conditioner or heat pump water heater to be used on residential premises in such a manner that it emits noise that can be heard within a habitable room in any other residential premises (regardless of whether any door or window to that room is open):

- (a) before 8 am or after 10 pm on any Saturday, Sunday or public holiday, or*
- (b) before 7 am or after 10 pm on any other day".*



• AIRCRAFT, ROAD TRAFFIC AND TRAIN NOISE CONTROL
• ARCHITECTURAL ACOUSTICS • INDUSTRIAL NOISE AND VIBRATION CONTROL
• ENVIRONMENTAL NOISE IMPACT INVESTIGATION AND CONTROL
• OCCUPATIONAL NOISE INVESTIGATION • QUIET PRODUCT DEVELOPMENT



BJC Design


PROPOSED RESIDENTIAL SUBDIVISION

Page 2 of 2

ORD02

We trust this information is satisfactory.

Kind regards

**William Wang**, BE (Mechatronics), MIEAust, MAAS

Senior Acoustical Engineer

For and on behalf of Day Design Pty Ltd

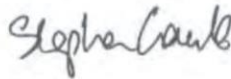
AAAC MEMBERSHIP

Day Design Pty Ltd is a member company of the Association of Australian Acoustical Consultants, and the work herein reported has been performed in accordance with the terms of membership.

Attachment 2



The undersigned hereby certifies that this Report has been checked and approved in accordance with our Quality Management System.



Date: 18/4/18


Ref: 8413-1 1L

18-Apr-18





ORD02


Attachment 2



SOIL TESTING REPORT FOR RESIDENTIAL FOOTINGS



SITE ADDRESS	: 33 Morshead Road, Mt Annan NSW
REPORT No	: NE255
DATE	: 18 February 2018
CLIENT	: BJC Design
PROPOSED STRUCTURE	: Future Subdivision of Residential Lots
SITE CLASSIFICATION	: Class H1



GEOTESTA

GEOTESTA PTY LTD | ABN 91851620815 | Level 15, 60 Station St East, Parramatta 2150
email: info@geotesta.com.au

33 Morshead Road, Mount Annan

NE255

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1. COMMISSION AND LIMITATIONS

Geotesta was engaged to investigate the soil profile at four borehole locations (BH1 to BH4) as requested to satisfy the requirements of Australian Standard 2870 - 2011 (Residential slabs and footings - Construction) with respect to the construction of a new dwelling. This report is based only on the information provided at the time of this report preparation and may not be valid if changes are made to the site or to the construction method.

2. SITE DESCRIPTION

This site is situated at 33 Morshead Road, Mount Annan, NSW. At the time of investigation the site was an abandoned single-storey residential dwelling surrounded by a front yard to the west, a side yard to the north, and a back yard to the east. The site is in a medium density residential neighbourhood and it is surrounded by residential dwellings, while it faces Morshead Road to the west. The front and back yards display a patchy grass cover of small to medium height (0 to 10 cm). Some medium size trees are present both along the northern and southern boundary. The site lays on an undulate surface gently sloping upwards from 105.0 m to 107.5 m from Morshead Road to the abandoned dwelling (towards the east), and downwards from the dwelling to the eastern boundary at 104.5 m elevation (Australian Height Datum: <http://en-au.topographic-map.com/maps>). The site plan showing the borehole locations is presented in Figure 1 (from Six Maps NSW). The site photos with borehole locations as taken at the time of investigation are shown in Figures 2, 3, 4 and 5.

3. FIELD INVESTIGATION

The site was visited by Geotesta on 29 January 2018. Soil sampling was undertaken using a hand auger at four locations (BH1 to BH4) as presented in Figure 1. The boreholes were excavated with a hand auger to a maximum depth of 1.0 m. The soil profiles encountered are described in the attached Borehole Logs. DCP test could penetrate to depths of 0.45-1.15 m.

4. FINDINGS

The geological origin of the soil profile was identified from our visual examination of the soil samples, geotechnical experience, and reference to geological maps of the area. The geological map of the area indicates that the site is underlain by Wianamatta Group sandstone and shales (Geology Map of Sydney, 1:100,000 scale) with the upper layers weathered into residual soils.

5. GEOTECHNICAL LABORATORY TESTING

One (1) representative soil sample was sent to the Soil Test Services (JK Geotechnics) NATA accredited laboratory for testing of index properties. The laboratory test results are summarised in Table 2.

Summary of Soil Laboratory Test Results

Bore No.	Depth (m)	Soil Type	Wn %	LL %	PI %	LS %
BH3	0.4	Silty CLAY	-	41	25	3.0

Note: Wn= Moisture content; LL= Liquid Limit; PI= Plasticity Index; LS= Linear Shrinkage

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Attachment 2

33 Morshead Road, Mount Annan

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6. SITE CLASSIFICATION

After considering the area geology, the soil profile encountered in the bores (see attached borehole logs and DCP test results), the proposed structure and the climatic zone of the area; the site is classified as CLASS H1, with respect to foundation construction (Australian Standard 2870-2011 Residential Slabs and Footings).

It has been estimated that the Characteristic Surface Movement (γ_s) of the underlying natural soil material will be in the range of 20 to 40 mm provided the building site is protected from "abnormal moisture conditions" and is drained as described in AS2870.

It must be emphasized that the heave mentioned and recommendations referred to in this report are based solely on the observed soil profile observed at the time of the investigation for this report, without taking into account any abnormal moisture conditions as defined in AS2870 – 2011, Clause 1.3.3 that might be created thereafter. With abnormal moisture conditions, distresses will occur and may result in "non-acceptable probabilities of serviceability and safety of the building during its design life," as defined in AS2870-2011, Clause 1.3.1. If these distresses are not acceptable to the builder, owner or other relevant parties then further fieldwork and revised footing recommendations must be carried out.

6. FOOTING DESIGN

6.1 SLAB ON GROUND:

An engineer designed Class H1 slab on ground footing system can be used on this site. We recommend that the designing engineer refer to AS2870-2011 to ensure design compliance to this document.

The founding depth of the edge and load bearing beams must be at least 100 mm into naturally occurring soil layer after the removal of any material with excessively high moisture or organic content, uncontrolled fill or deleterious matter and as described in the borehole logs. As a guide with information obtained from the bores, the actual founding depth at the test locations will be as follow:

Minimum founding Depth (mm)	Allowable Bearing Capacity (kPa)
400	120
800	180

Slab panels and internal beams can be founded in the natural soil profile or in compacted surface filling and/or as required in the design by engineering principles. Compacted filling used to raise levels beneath panels must be placed and compacted as per specifications for controlled or rolled fill.

6.2 STRIP/PAD FOOTING SYSTEM:

An engineer designed Class H1 strip and/or pad footing system can be used on this site. We recommend that the designing engineer refer to AS2870-2011 to ensure design compliance to this document.

33 Morshead Road, Mount Annan

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The strip or pad footings should be founded in the natural soil layer and penetrate through any fill material, tree roots and founded at least 100 mm into the recommended founding material. As a guide with information obtained from the bores, the actual founding depth for strip or pad footings at the test locations should be as follow:

Minimum founding Depth (mm)	Allowable Bearing Capacity (kPa)
400	120
800	180

6.3 Bored Piers:

The proposed building can be founded on bored piers. The carrying capacity of bored piers can be estimated using the following parameters:

Minimum founding Depth (mm)	Allowable Skin Friction (kPa)	Allowable End Bearing Capacity (kPa)
500	25	-
2000	50	600

Attachment 2

The design end bearing capacities have been calculated based on the geotechnical parameter at each corresponding soil layer.

It should be noted that the soil profile may vary across the site. It is recommended that a geotechnical engineer be engaged during the footing excavation stage to confirm founding depth and founding material.

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33 Morshead Road, Mount Annan

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7. GENERAL RECOMMENDATIONS

- Tree planting should be restricted to a distance from the house of $\frac{3}{4}$ x mature height of the trees;
- Where some structures have been or are to be removed from the building site, any stump hole should be filled with well compacted soil or the footings deepened below the disturbed depth. In dry periods the ground should be gradually soaked well prior to footing construction until the moisture conditions over the whole building site are made uniform.
- Trees and/or shrubs in general could affect the long-term performance of footings. Where trees are deemed to affect the long-term performance of the footings, the slab and/or footings for the building should be designed by a professional engineer familiar with the soil conditions on the site taking into account the variable moisture condition over the building site at the time of construction. If offending trees are to remain, an engineer designed pier/screw piles and beam footing system should be considered.
- Any proposed footings which are close to an easement and/or other excavations, (including those in adjoining properties) should be founded below a line projected up at 30° to the horizontal (for Sand) and 40° to the horizontal (for firm/stiff Clay) and measured from the nearest base of the easement excavations.
- Avoid excavations close to footings since those founded on sandy soils can experience settlements while those founded in clayey soils can also move due to the shrinking and swelling of the clay. Plumbers and drainers should follow all the recommendations made in AS 2870 and other appropriate codes with respect to drainage works.
- It is also recommended that the Owners follow the requirements of AS 2870 and the C.S.I.R.O. BTF 18, which can be obtained from www.csiro.au. The document provides some guidelines to the Owners to carry out regular maintenance of drainage and care for the soil moisture conditions.

33 Morshead Road, Mount Annan

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8. CONDITIONS OF THE RECOMMENDATIONS

- This report is a geotechnical report only and the classification stated shall not be regarded as an engineering design nor shall it replace a design by engineering principles although it may contribute information for such designs. It shall be read in conjunction with AS 2870 and must be reproduced only in total.
- The advice given in this report is based on the assumption that the test results are representative of the overall subsurface conditions. However, it should be noted that actual conditions in some parts of the building site may differ from those found in our test holes. If excavations reveal soil conditions significantly different from those shown in our attached Borehole Log(s), Geotesta must be consulted and excavations stopped immediately.
- The foundation depths quoted in this report are measured from the surface during our testing and may vary accordingly if any filling or excavation works are carried out. The description of the foundation material for has been provided for its easy recognition over the whole building site. In all cases the foundation soil chosen should be capable of supporting the proposed building but need not be of the same type.
- Any sketches in this report should be considered as only an approximate pictorial evidence of our work. Therefore, unless otherwise stated, any dimensions or slope information should not be used for any building cost calculations and/or positioning of the building.

For and on behalf of
GEOTESTA PTY LTD

Amir Farazmand
BEng MEng MIEAust CPEng
Senior Geotechnical Engineer

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Attachment 2

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Attachment 2

33 Morshead Road, Mount Annan

NE255

Figure 1 – Site Plan and Test Locations



Figure 2 – Location of BH1 in the side yard



33 Morshead Road, Mount Annan

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Figure 3 – Location of BH2 in the back yard



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Attachment 2

33 Morshead Road, Mount Annan

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Figure 4 – Location of BH3 in the front yard



33 Morshead Road, Mount Annan

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Figure 5 – Location of BH4 in the side yard



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Attachment 2

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Attachment 2

GEOIESTA		BOREHOLE LOG SOIL				BORE No: BH1	
Client: Project: Location: Date of test:		Excavated by: Operator: Rig Type: Rig Size:		Facing: North: Grid Ref: Color RL: Logged by:		Page 1 of 1	
Depth (m) Cutting distance	Moisture Syntex	MATERIAL DESCRIPTION Type, colour, particle size and shape, moisture				FIELD TESTS & NOTES	
0.00		ML Topsoil, Sandy SILT with traces of gravel, brownish grey, dry, stiff				2 Patchy grass cover 5-10 cm	
0.50		CL Silty CLAY, brown / red, low to medium plasticity, dry, hard				12 Groundwater not encountered	
1.00		Borehole terminated at 1.0 m on hard silty CLAY				18 Refusal	
1.50							
2.00							
2.50							
3.00							
3.50							
4.00							
4.50							
5.00							

consistency: VS very soft S soft F firm ST stiff VST very stiff H hard	relative density: VL very loose L loose MD medium dense D dense VD very dense	moisture: D dry M moist W wet	strength: EH extremely high VH very high H high M medium L low VL very low EL extremely low	Notes:
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soil classification: soil is classified in accordance with AS1726 unless otherwise noted	water: water level level meter to water intake	sampling / testing Indirect sample from core Indirect tube sample	● disturbed sample B bulk sample SPT Standard Penetration Test
--	--	--	--

GEOTESTA		BOREHOLE LOG SOIL				BORE No: BH2	
Client: Cannon Consulting Engineers		Excavated by: Paolo Abbate		Page: 1 of 1			
Project: NE256		Operator:		Easting:		See Plan	
Location: 33 Morshead Road, Mount Annan		Rig Type: Hand Auger		Northing:		See Plan	
Date of test: 26 January 2018		Rig size:		Grid Ref:		See Plan	
				Collar RL:		See Plan	
				Logged by: PA		Checked by: AF	
Depth (m)	Sampling method	Moisture Log	Moisture Content	MATERIAL DESCRIPTION Type, colour, particle size and shape, thickness	Moisture	Consistency / Density / Strength	FIELD TESTS & NOTES
0.00	Hand Auger			ML Topsoil: Clayey SILT with traces of gravel, brown, dry, stiff	D	ST	Patchy grass cover 5-10 cm
				CL Silty CLAY, low to medium plasticity, very soft to hard	D	VST	
				Dark brown, dry	H	10	
0.50				SH Shale V, dark brown, dry, very low strength	D	VL	Groundwater not encountered
				Borehole terminated at 0.5 m on Shale V from augering refusal		Refusal	
1.00							
1.50							
2.00							
2.50							
3.00							
3.50							
4.00							
4.50							
5.00							

consistency: VS very soft S soft F firm ST stiff VST very stiff H hard	relative density: VL very loose L loose MD medium dense D dense VD very dense	moisture: D Dry M Moist W Wet VL Very Low EL Extremely Low	strength: SH Extremely High VH Very High H High M Medium L Low VL Very Low EL Extremely Low	notes:
soil classification: soil is classified in accordance with AS1726 unless otherwise noted				sampling / testing: ● disturbed sample B bulk sample Su from Field Vane Shear test SPT standard penetration test

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Attachment 2

Attachment 2

Attachments for the Ordinary Council Meeting held on 14 April 2020 - Page 430

GEOTESTA		BOREHOLE LOG SOIL				BORE No: BH4	
Client: Cannon Consulting Engineers		Excavated by: Paolo Abbate		Page: 1 of 1			
Project: NE254		Operator:		Existing: See Plan			
Location: 33 Morshead Road, Mount Annan		Rig Type: Hand Auger		North: See Plan			
Date of test: 28 January 2018		Rig size:		Grid Ref: See Plan			
				Collar RL: See Plan			
				Logged by: PA Checked by: AF			
Depth (m)	Drilling method	Soil Sample	MATERIAL DESCRIPTION Type, colour, particle size and shape, moisture	Moisture	Consistency / Density / Strength	FIELD TESTS & NOTES	
0.00	Shank Log	ML	Topsoil: Sandy SILT, dark brown, roots, dry, stiff	D	ST	Patchy grass cover 0-5 cm.	
0.50	Hand Auger	CL	Silty CLAY, red / brown, low to medium plasticity, dry, very stiff	D	VST	Groundwater not encountered	
			Grades to orange / red, hard	H			
1.00		SH	Shale V, dark brown, dry, very low strength	D	VL		
1.00			Borehole terminated at 0.9 m in Shale V from augering refusal		Refusal		
1.50							
2.00							
2.50							
3.00							
3.50							
4.00							
4.50							
5.00							

consistency: VS. very soft S. soft F. firm ST. stiff VST. very stiff H. hard	relative density: VL. very loose L. loose MD. medium dense D. dense VD. very dense	moisture: D. Dry M. Moist W. Wet	strength: SH. Extremely High VH. Very High H. High M. Medium L. Low VL. Very Low EL. Extremely Low	notes:
soil classification: soil is classified in accordance with AS1726 unless otherwise noted				water: water level level meter water inflow
sampling / testing: intact sample from core intact tube sample				● disturbed sample B bulk sample Su from Field Vane Shear test SPT standard penetration test

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Attachment 2

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115 Wicks Road
Macquarie Park, NSW 2113
PO Box 976
North Ryde, Bc 1670
Telephone: 02 9888 5000
Facsimile: 02 9888 5001



ATTERBERG LIMITS , LIQUID LIMITS AND LINEAR SHRINKAGE TEST REPORT

Client: Geotesta Pty Ltd
Location: 33 Morshead Road, Mount Annan, NSW

Ref No: L4040E8
Report: 1
Report Date: 9/02/2018
Page 1 of 1

AS 1289	TEST METHOD	3.1.2	3.2.1	3.3.1	3.4.1
BOREHOLE NUMBER	DEPTH m	LIQUID LIMIT %	PLASTIC LIMIT %	PLASTICITY INDEX %	LINEAR SHRINKAGE %
3	0.4	41	16	25	3.0

Notes:

- The test sample for liquid and plastic limit was air-dried & dry-sieved
- The linear shrinkage mould was 125mm
- Refer to appropriate notes for soil descriptions
- Date of receipt of sample: 30/01/2018.



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Authorised Signature / Date
(D. Treweek) 9/2/18

All services provided by STS are subject to our standard terms and conditions. A copy is available on request.

Assessment Against Key Strategic Documents

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Attachment 3

Greater Sydney Region Plan

Direction	Objective	Officer Comment
Direction 1 Infrastructure - A City Supported by Infrastructure	Objective 4: <i>Infrastructure use is optimised</i>	The proposal is consistent with this objective as the required infrastructure to service development at the density proposed is readily available and does not require major augmentation.
Direction 3 Liveability- A city for the people	Objective 7: <i>Communities are healthy, resilient and socially connected</i>	The proposal is consistent with this objective as future residents will have access to existing social and physical infrastructure. These services are within walking distance of the subject site.
Direction 4 Liveability-Housing the City	Objective 10: <i>Greater Housing Supply</i>	The proposal is consistent with this objective through the provision of up to 10 residential lots.
	Objective 11: <i>Housing is more diverse and affordable</i>	The proposal is consistent with this objective by facilitating a diverse range of housing opportunities with the potential to provide more affordable options.
Direction 8 Sustainability- A city in its landscape	Objective 27: <i>Biodiversity is protected, urban bushland and remnant vegetation is enhanced</i>	<p>The Ecological Constraints Assessment (Assessment) submitted with the proposal indicates threatened fauna habitat and potential EEC within the site is comprised of a single Spotted Gum Tree and a small patch of native grassland. The Assessment concludes these present a minor constraint to the development of the site and their removal would not cause significant impact on the threatened fauna or EECs within the locality. The Assessment notes there may be a requirement to conduct replacement planting associated with the removal of native vegetation.</p> <p>Council officers have reviewed the Ecological Constraints Assessment and agree with its findings. The removal of native vegetation on the site would be a matter for assessment at any future Development Application (DA) stage.</p>

Western City District Plan

Planning Priority	Officer Comment
Planning Priority W1 Planning for a city supported by infrastructure	The proposal is consistent with this priority. The proposal seeks to facilitate up to 10 residential lots in an established urban area with existing infrastructure.
Planning Priority W5 Providing housing supply, choice and affordability, with access to job and services	The proposal is consistent with this priority as it seeks to increase the housing supply by up to 10 residential lots in an established residential area with access to jobs and services.

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Attachment 3

Assessment Against Key Strategic Documents

Community Strategic Plan

Strategy	Officer Comment
<u>Strategy 1.1.1</u> Ensure provision of appropriate urban development for sustainable growth in the Camden LGA	The proposal is consistent with this Strategy. The proposal has the capacity to sensitively integrate with the physical and social fabric of the existing neighbourhood. The proposal will contribute towards housing choice and may contribute towards housing affordability whilst being supported by an existing local centre within walking distance for future residents.
<u>Strategy 1.1.2</u> Manage and plan for a balance between population growth, urban development and environmental protection	The proposal is consistent with this Strategy, as the proposed R3 zone and minimum lot size of 250m ² is compatible with the established and desired future character of the neighbourhood.
<u>Strategy 4.1.1</u> Ensure provision of adequate transportation network facilities available across the Camden LGA	The proposal is consistent with this direction as the potential future development(s) will not adversely impact the existing transport network as supported by the TIA. Future residents will also have access to an alternate transportation method through the existing bus network along Holdsworth Drive and Narellan Road.

Draft Camden Local Strategic Planning Statement

Local Priorities	Officer Comment
<u>Infrastructure Priority I1</u> Aligning infrastructure delivery with growth	The proposal is located within an existing neighbourhood that is well connected to infrastructure. Future development will utilise existing infrastructure to ensure future residents are provided access to minimum residential standards.
<u>Liveability Priority L1</u> Providing housing choice and affordability for Camden's growing and changing population.	The proposal will contribute towards housing choice and may contribute towards housing affordability.



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Camden Local Planning Panel

Attachment 4

Closed Meeting Minutes
18 February 2020

Camden Council
Administration Centre
70 Central Avenue, Oran Park



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**CLOSED CAMDEN LOCAL PLANNING PANEL
MEETING****TABLE OF CONTENTS**

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Attachment 4

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Attachment 4

PRESENT

Stuart McDonald (Chairperson), Sue Francis (Expert Panel Member), Michael Fie (Expert Panel Member), Bill Rooney (Community Member – Central Ward)

ALSO IN ATTENDANCE

Manager Strategic Planning, Manager Statutory Planning, Team Leader Growth Areas, Team Leader Land Use Planning, Strategic Planner Growth Areas, Planning Officer, Governance Officer – Panel and Committees.

DECLARATION OF INTEREST

There were no declarations to be noted.

CCLPP01 DELEGATING OF FUNCTION OF CAMDEN LOCAL PLANNING PANEL TO COUNCIL STAFF**DETERMINATION OF PANEL**

- A. In circumstances where the Panel determination on a development application is consistent with the officer recommendation then, pursuant to Clause 2.20(8) of the Environmental Planning and Assessment Act 1979 the Panel delegates its functions under Section 8.15(4) of the Act to the positions of General Manager, Director Planning and Environment, Manager Development Certification, and Manager Statutory Planning.
- B. In circumstances where the Panel determination on a development application is not consistent with the officer recommendation the Panel grants this delegation subject to Council informing the Panel of any amendments made to a proposal that is the subject of an appeal that would likely result in an agreement being entered into between the Applicant and Council under Section 34(3) of the Land and Environment Court Act 1979.

VOTING NUMBERS

The Panel voted 4-0 in favour of the recommendation.

CCLPP02 PLANNING PROPOSAL - 33 MORSHEAD ROAD, MOUNT ANNAN**PANELS RECOMMENDATION**

The Camden Local Planning Panel has considered the draft Planning Proposal and resolved to advise the Council that it supports the Council's assessment report of the Planning Proposal for the following reasons:

- The proposal demonstrates strategic and site specific planning merit;
- The area surrounding the site within the Mount Annan suburb demonstrates a transition of residential density which is compatible with R3 Medium Density Residential development. The proposed R3 Medium Density Residential zone with a minimum lot size of 250m² is consistent with the existing neighbouring character of the area;
- The proposal will contribute towards Camden's housing supply in an appropriate location that could facilitate housing diversity; and

ORD02

- Future development as a result of this proposal will not require significant augmentation of existing infrastructure and will not generate adverse traffic impacts or wider environmental, social and economic impacts.

VOTING NUMBERS

The Panel voted 4-0 in favour of the recommendation.

CCLPP03 PLANNING PROPOSAL FOR 16 HEATH ROAD & 1339 CAMDEN VALLEY WAY, LEPPINGTONRECOMMENDED

The Camden Local Planning Panel has considered the draft Planning Proposal and resolved to advise the Council:

1. That some non-residential uses on the site offering local services has planning merit and also notes this outcome is already possible under the existing planning controls.
2. That the proponents economic assessment confirms that 1200sqm GFA non-residential floor space would meet a demand in the local area.
3. The proposal lacks sufficient information regarding development feasibility
4. That an increase in the allowable building height may be appropriate but the proposal does not provide certainty regarding acceptable design outcomes on the site.
5. Accordingly the Panel recommends that site specific controls include numerical standards such as a maximum overall floor space ratio (FSR), a maximum FSR for residential development and a minimum FSR for non-residential development, as well as a site specific development control plan.
6. At this stage the concept demonstrates strategic merit but has not demonstrated site specific merit.

VOTING NUMBERS

The Panel voted 4-0 in favour of the recommendation.

Attachment 4

Submissions Response Table for 33 Morshead Road, Mount Annan Planning Proposal

Submissions Response Table			
Submitter	Reference		
1.	1.01 - 1.02		
2.	2.01 - 2.02		

Ref No.	Issue/Comment	Officer Responses	Proposed Action
Submission 1 -			
1.01	Concerns that the development is not located close to a major transport hub and will create additional congestion on local roads.	<p>A Traffic Impact Assessment (TIA) has been submitted in support of the Proposal, concluding that the potential future subdivision of the subject site will not have an adverse impact on the surrounding road network. The TIA also notes the site has good access to existing public transport services in the form of regular bus services along Narellan Road and Holdsworth Drive.</p> <p>The draft Planning Proposal will facilitate additional dwellings in proximity to the Mount Annan local centre. This local centre is serviced by regular bus services which connect residents in the area to Campbelltown and Macarthur railway stations to alleviate additional congestion on local roads.</p>	No further action required.
1.02	The existing planning controls are set to prevent a smaller lot size which would generate a higher density.	<p>The current planning controls reflect a former vision of this site which has since evolved in the surrounding context. The proposed minimum lot size of 250m² will enable development in this area to achieve the objectives of the proposed R3 Medium Density Residential zone and support the ongoing use of the Mount Annan local centre.</p>	No further action required.
Submission 2 -			
2.01	Concerns that future development will be two storey developments and	The proposal is seeking to increase residential density on the site. There is no proposed change to the current maximum 9.5m height of building control that applies to the subject site and surrounding area. Two storey	No further action required.

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Attachment 5

Ref No	Issue/Comment	Officer Response	Proposed Action
	will create overshadowing and privacy impacts.	<p>developments are currently permitted under the existing planning controls</p> <p>Whilst an indicative development scheme has been submitted with the Proposal, the final subdivision layout and dwelling density will be subject to a future DA should the Proposal be supported. The DA will need to satisfy the requirements of the Camden DCP 2019 in terms of protecting the amenity of the neighbourhood for existing and future residents. As noted earlier in this report, developments including dwellings can be approved as complying development under the Codes SEPP. Development approved under this pathway must address specific controls including overshadowing and privacy.</p> <p>The Proposal has provided adequate justification to demonstrate its strategic and site-specific merit with support given by the panel's recommendations</p>	
2.02	The lots surrounding the property are all larger than the proposed lot size and will not be compatible with the low-density character of the area.	<p>Development in this area demonstrates a mix of lot sizes. To the north and east of the site, lot sizes range from 250m² to 350m². The site also adjoins larger properties directly to the south on Holdsworth Drive which have a lot size of approximately 450m², despite the permissible minimum lot size being 250m². The area surrounding the site within the Mount Annan suburb demonstrates a transition of residential density that reflects a low to medium density character surrounding the Mount Annan local centre.</p> <p>Additionally, the proponent has submitted an Urban Design Report to support the draft Proposal. The report concludes that the proposal is consistent with the desired future character of the area and satisfies the objectives of the R2 Medium Density Residential zone. Council officers have assessed the report and consider the draft Planning Proposal is compatible with the existing and desired future character of the area and is suitable for medium density residential development.</p>	No further action required.